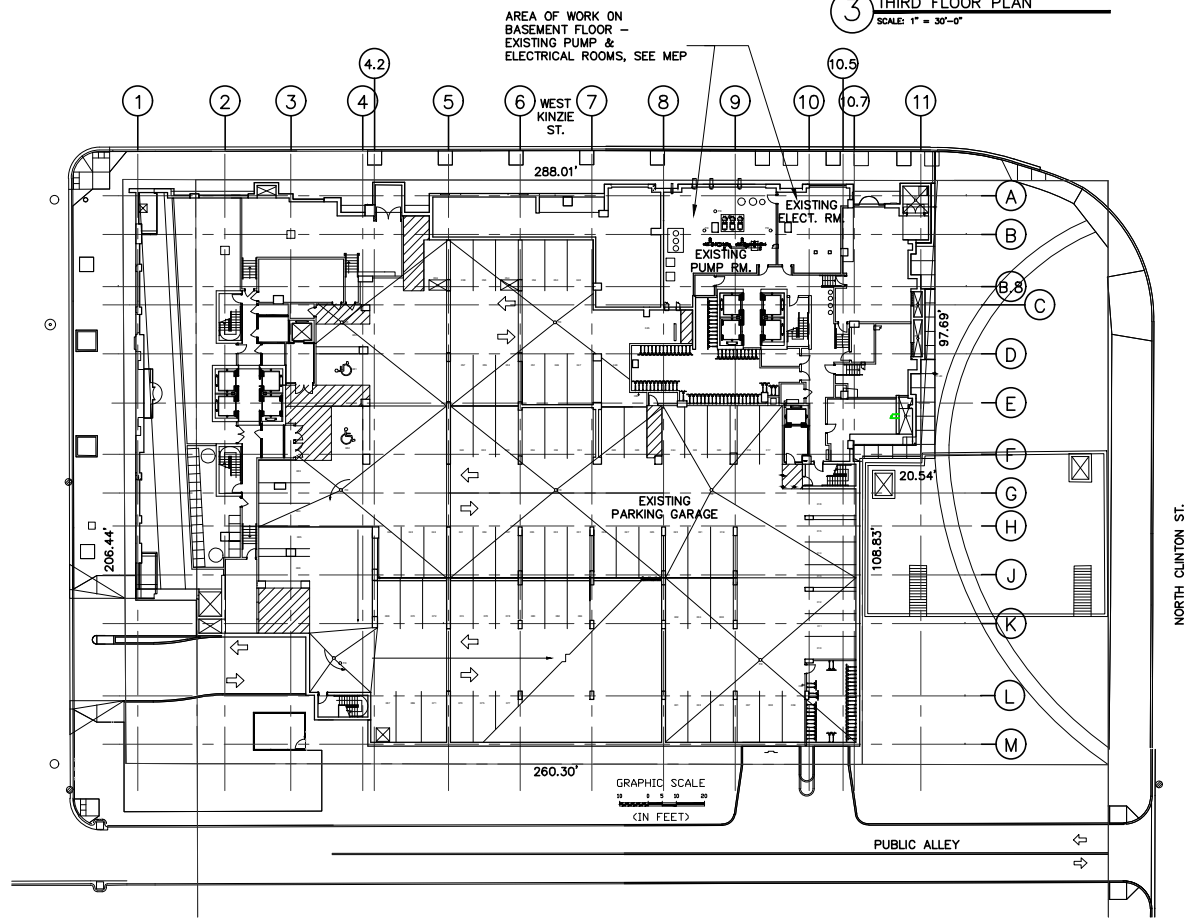


3 THIRD FLOOR PLAN
SCALE: 1" = 30'-0"



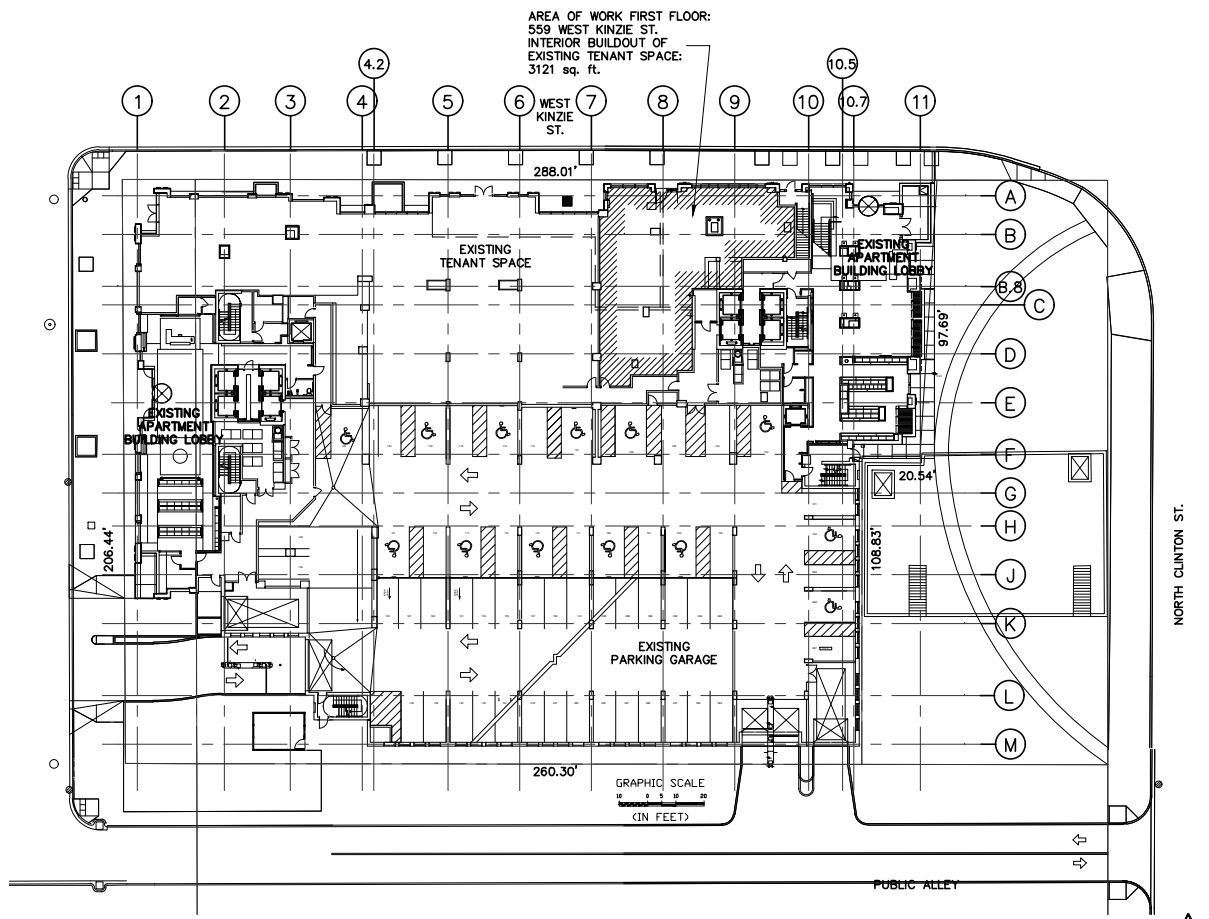
2 BASEMENT FLOOR PLAN
SCALE: 1" = 30'-0"

INTERIOR BUILD-OUT MRI of RIVER NORTH 559 WEST KINZIE ST. CHICAGO, IL

SCOPE OF WORK: INTERIOR BUILDOUT OF EXISTING COMMERCIAL SPACE - CLASS E, BUSINESS UNIT - FOR NEW MRI CENTER

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M-101	SIEMENS M.R.I. (REFERENCE ONLY)		
M-501	SIEMENS M.R.I. (REFERENCE ONLY)		



1 SITE & FIRST FLOOR PLAN
SCALE: 1" = 30'-0"

SELF CERTIFICATION PERMIT COMPLIANCE STATEMENT

I hereby certify that these drawings are prepared by me or under my supervision and to the best of my professional knowledge conform to the Chicago Building Code.
(address) 559 WEST KINZIE STREET

Signed _____ Date 8/1/12

(Arch., S.E., or P.E.)
Illinois License Number: 001-017490

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT

I certify that I am a Registered Energy Professional (REP). I also certify that to the best of my professional knowledge and belief that the attached plans for (address) 559 WEST KINZIE ST.

DO NOT NEED to comply with the requirements of Chapter 18-13, Energy Conservation, of the Municipal Code of Chicago, except 18-13-303.1.

Signed _____ Date 8/1/12

(Arch., S.E., or P.E.)
Illinois License Number: 001-017490

I DO HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO ALL APPLICABLE CODES & ORDINANCES OF THE CITY OF CHICAGO, INCLUDING THE CHICAGO ENERGY CODE.

LICENSED ARCHITECT
RUSSELL ROBERT BLEMKER
001-017490
STATE OF ILLINOIS

A PROJECT BY
RUS ARCHITECTS/RENDERERS, INC.
140 SOUTH CLINTON ST. SUITE 217
CHICAGO, IL 60606
PHONE: (312) 896-1596
FAX: (312) 896-1596

A PROJECT BY
RUS ARCHITECTS/RENDERERS, INC.
140 SOUTH CLINTON ST. SUITE 217
CHICAGO, IL 60606
PHONE: (312) 896-1596
FAX: (312) 896-1596

COVER SHEET & NOTES

MRI of RIVER NORTH
559 WEST KINZIE STREET
CHICAGO, ILLINOIS

NO.	DATE	REVISIONS	BY
1	7/30/12	COORDINATION	RRB
2	8/1/12	PERMIT	RRB

DATE 6/12

JOB # -

SHEET
CV1

GENERAL CONDITIONS:

The 1987 edition of the AIA Document A201, General Conditions of the contract for construction shall apply to the construction phase of this project, unless otherwise indicated.
If any mistakes, omissions, or discrepancies are found to exist that he may have the opportunity to take whatever steps are necessary to resolves them. When notes conflict, the most stringent in the opinion of the Architect shall govern.

CONTRACTORS RESPONSIBILITIES:

The scope of the work described herein includes furnishing all materials, labor, tools, paint, supplies, equipment, transportation, supervision, to complete the intent of these Construction Documents. Contractor shall visit the site prior to submitting its bid to determine actual field conditions which may affect its bid. The submitting of a bid for the project will serve as notice that Contractor has made aforesaid determinations, as no additional sums will be allowed for failure to do so. Contractor shall notify the Architect of any discrepancy or omissions in the Construction Documents which affect the Work, prior to submitting their bid.

DESIGN BUILD SERVICES:

Portions of the work indicated that work will be performed on a "Design Build" basis. In such cases, the Contractor shall be solely responsible for the complete design, engineering, and installation of such systems or equipment and shall warrant to the Owner that such work shall adequately meet the needs and requirements of the Owner and of the project as planned and its intended uses as well as comply completely with all applicable codes, ordinances and governing regulations. In no way shall a Design/Build arrangement limit the responsibility of the Contractor to complete his obligations to meet such needs and requirements. Design/Build shall include, but not limited to, the following:

- Mechanical Work
- Electrical Work
- Plumbing Work

Coordinate all work with other trades and with the Owner.

INSURANCE:

Contractor shall submit, prior to commencement of work, Certificate of Insurance naming the Owner, Architect, and their agents asAdditional Insured. Confirm with owner these minimum requirements.
(A) Public Liability of not less than \$2,000,000.00 (including) Contractor's Protective Liability covering explosions and collapse, completed operations coverages and broad form blanket contractual liability coverage.
(B) Workman's Compensation and Employer's Liability Insurance as required by any Employee Benefit Acts or other statutes applicable where the work is to be performed as will protect Owner's Contractor form liability under aforesaid.
(C) Comprehensive Automotive Liability Insurance including the ownership, maintenance, and operation of any automotive equipment own, hired, and un-owned, \$500,000 / \$1,000,000.00 limits.
Contractor agrees to hold aforesaid harmless on all O.S.H.A. and workers safety requirements, and shall fully comply with all such requirements as they apply to the methods and operation used in the execution of the work. Additionally, shall also comply with substitute ordinance passed January 2000, new sections 13-124-380-440.

GUARANTEE:

All work performed and materials utilized shall be guaranteed for a period of one year (minimum) unless noted otherwise, after the date of substantial completion, against defects in workmanship and/or materials. Contractor agrees to remedy such defects in a timely manner at no additional cost to the owner.

CLEAN-UP:

Contractor shall keep the project area reasonably clean at all times, and thoroughly remove waste materials, rubbish and debris every Friday during the course of the Construction. Final cleaning shall be performed just prior to acceptance by Owner.

OWNERSHIP OF DOCUMENTS:

The drawings herein and the architectural design inferred form and the rights thereof as defined by copyright laws belong to the author and are not to be copied or reproduced without permission from the Architect.

APPLICABLE STANDARDS:

In procuring materials and installing same for this project, it shall be the responsibility of the Contractor to verify the detailed requirements of all applicable codes and standards, recommendations and specifications, and comply fully with said requirements. The building codes and addenda of Chicago, Cook County, will be considered as a minimum standard in the construction of this project and will take precedence only over the lack of any better information contained in these construction documents. Comply with Chapter 18-13 of the Chicago Building Code.

BUILDING PERMITS:

All building permits and fees are the responsibility of the contractor. Contractor shall arrange all necessary inspections andmake all required submittals beyond the general building permit.

GENERAL NOTES:

- Core shall be taken during work not to damage portions of the existing structure, and/or site(s), that are to remain.
- The general contractor shall verify all existing dimensions, elevations, and conditions in the field prior to start of work. The general contractor shall notify the architect of any discrepancies or inferences.
- General Contractor to perform all cutting and patching and repair work as required to complete the Work.
- General contractor to provide all temporary lighting, power and heat asrequired to properly perform the work. Maintain temporary systems throughout the duration of the work or until permanent systems are completed.
- New work shall be installed plumb, level and true, aligned as indicated with maximum deviation of1/8" in a ten foot run.
- Comply with manufacturer's recommendations for the proper use, handling and installation of their products.
- All products and materials used shall be new unlessotherwise specifically indicated otherwise.
- Do not scale drawings. Drawings are generally drawn to scale, however in no case shall drawings be scaled for construction purposes.
- Field verify any possible load bearing partitions, columns and beams.
- New work shall be properly integrated with existing to insure a matched and uniform appearance.

GENERAL NOTES CONT:

- The Architect and Architect's Consultants shall have no responsibility for the identification, discovery, presence, handling, removal or disposal of, or exposure of persons to, hazardous materials in any form at the project site.
- These documents contain schematics ofrecommended construction. The Architect is not responsible for any variations not approved by said Architect in WRITING.
- The Architect shall not have control over, or charge of, and shall not be responsible for construction means, methods, techniques or procedures, or for safety precautions and programs in connection with the work, since these are solely the contractors responsibility.
- Any change orders shall be submitted to owner in writing and approved by said owner in writing prior to proceeding with work.
- Pipe shafts and ducts passing from one floor to another shall be enclosed with construction providing fire resistance of not less than one hour except those pipes and ducts requiring openings through floors not exceeding nine square feet in area shall not require enclosure, provided that openings between such pipes or ducts and the floor construction shall be filled with non-combustible materials securely held in place to pervent the passage of fire.

DEMOLITION:

- Legally dispose of all materials and debris scheduled for equipment and shall warrant to the Owner that such work shall adequately meet the needs and requirements of the Owner and of the project as planned and its intended uses as well as comply completely with all applicable codes, ordinances and governing regulations. In no way shall a Design/Build arrangement limit the responsibility of the Contractor to complete his obligations to meet such needs and requirements. Design/Build shall include, but not limited to, the following:

CARPENTRY:

- (SEE STRUCTURAL NOTES FOR ADDITIONAL INFORMATION)
- Coordinate with framing plan location of wall conditions such as medicine cabinets, etc. PRIOR TO RUNNING CONDUIT.
 - Framing contractor shall provide all labor and materials for blocking and backing as indicated in the drawings. Anchor all blocking and backing rigidly to building structure or partition framing.
 - Provide blocking and backing for items including, but not limited to the following:
 - Doorways: Install 2 x 4 sub bucks and blocking at jamb and head for attachment of door frame by others.
 - Cabinets, counters, millwork, cost hooks, shelving: Provide blocking and backing as noted in drawings. If not specified, provide 2 x 4 hnd blocking between studs at top and bottom of wall-mounted cabinets and counters.
 - Plumbing fixtures, electrical equipment. Provide blocking as required by drawings. Coordinate with other trades for size and location.
 - Framing, blocking, furring and cants etc. must be fire treated to Type IB Buildings.

GYPSUM WALLBOARD:

- Provide all necessary materials and labor to complete the proper installation of the work as shown on the Drawings or required as per manufacturer's specifications and recommendations, code and governing ordinances. All joints to be finished. All wallboard to be glued and screwed as per manufacturer's recommendations.
- All wallboard to be a minimum of 1/2" thickness on walls and 5/8" thickness on ceilings, unless noted otherwise.
- All wallboard used in restrooms, mechanical, laundry, exterior, or other areas where water may be present shall be water resistant. AT SHOWER/TILE AREAS USE CEMENTITIOUS BACKER BOARD.
- Comply with the recommendations of the Gypsum Board Handbook published by the USG corporation, latest edition, for methods and installation of metal framing, wood framing and gypsum board systems.
- Provide metal corner reinforcement trim at all outside corner conditions. Trim shall be USG-DUR-A-BEAD or equal, unless noted otherwise.
- Provide continuous bead of sound sealant at top and bottom of all sound rated insulated partitions and at partition penetrations, including electrical openings.
- Coordinate with other trades for installation of wood blocking.
- Provide gypsum board edge trim, USG-801-A at exposed edges of al non-full height gypsum board partitions except where top of wall has wallboard finish.
- Finish drywall joints and conceal all fasteners using USG 'PERF-A-TAPE' system or equal. Apply finishing compound, sand, and repeat as needed to completely conceal all joints and fasteners.
- Provide additional supports, brackets, ties and framing as recommended or required for proper installation and rigid assembly.
- Clean all surfaces and leave ready for paint. Remove all excess materials and debris from site.
- Drywall support systems and framing shall be of sufficient capacity and rigidity to support the assembly with a maximum deflection of L/240 where "L" represents the length of the span. Deflection limit includes live loads and dead loads simultaneously imposed.

CERAMIC TILE:

- Provide all materials and accessories needed to complete the work. Supply tile and grout in quantities recommended by Owner unless noted otherwise.
- Provide ceramic tile in pattern as shown on drawings. If none shown, or noted, assume one color per room. Ask Architect for pattern if more than one color is called out.
- Ceramic tile shall be installed over cementitious backer board for all surfaces in wet areas.
- Joints between horizontal and vertical surfaces and vertical joints at corners shall be caulked with approved silicone sealant, color to be compatible with the grout color.
- Clean all tile surfaces after grout installation and remove all grout residue from tile surface.
- Grout to be sealed per manufacturer's recommendations.
- Inspect all surfaces prior to tile installation. Subfloor surfaces for tile finishes shall be properly cleared and prepared.
- Protect and clean adjacent wall finishes and plumbing fixtures from damage and grout staining.

PAINT SYSTEMS FINISH NOTES:

- PAINTING - Provide complete painting work as shown on the Drawings and specified herein, unless otherwise noted. Comply with flame spread rating required by application codes.

Inspect surfaces to be finished and conditons of building before starting the work, and report to the Architect any defects the rendered area of items to receive finish. Starting of work will constitute acceptance of conditions and substrates.

Remove and protect all hardware, lighting, fixtures, etc. before painting. Protect all finished surfaces. In areas where paint is beings applied, with clean drop cloths and suitable masking. CLEAN ALL SURFACES TO BE FINISHED AS REQUIRED TO REMOVE, ALL GREASE, DUST AND DIRT. Sand where necessary to properly prepare surfaces to receive finish.

INTERIOR WALL & CEILING FINISHES - Paint, oil wallo/ceilings to receive prime coat and two coats finish paint, latex, semi-gloss (unless noted otherwise). Prior to beginning work, the Contractor shall obtain approval of colors for all surfaces to be painted. At Owner's discretion, 25 sq. ft. of wall area will be painted with each color for approval. Each coat of paint shall be slightly lighter or darker than the preceding coat.

INTERIOR STAIN & VARNISH - All interior woodwork (where noted) shall be stained and varnished 2 coats minimum. The Contractor shall work with the Owner to provide sample work on the actual materials to achieve the desired colors and finish. The Contractor shall obtain approval from the Owner for color well in advance of the actual commencement of the work. Allow 3 weeks minimum in time schedule for these approvals. Any pine window jambs shall be stained and varnished to closely match the oak trim.

- Do not point over labels, factory finished metal trim, door hardware, electrical fixtures, mechanical vents, electrical/mechanical/plumbing equipment, or millwork assemblies unless noted otherwise. See note 5 about exposed pipes, ductwork and conduit.
- Provide a minimum of one gallon of attic stock paint for each color and finish in clearly labeled containers.
- Point all hollow metal and solid core wood doors semi-gloss alkylid enamel per Architect's color selection. Submit color chart for selection if choice not provided.
- Existing ceiling and beams that are to remain exposed - clean, prepare and paint per Owner's selection.
- Point all exposed duct work, conduits and piping semi-gloss alkylid enamel unless noted otherwise.
- Provide touch-up painting to match existing paint colors and textures where infill or patch and repair work is required at existing or new locations.
- All wall board surfaces shall be painted except where tile or a wall covering fabric is specified.

ADDITIONAL FINISH NOTES:

- All vinyl or fabric wall coverings shall be installed per manufacturers recommendations and specifications.
- Review layout of stone, tile and ceramic tile with Architect and/or Owner prior to installation. All grout lines shall align vertically and horizontally and at all intersections and corners.
- All dimensions to face of drywall.
- All V.C.T. tile shall be installed per industry standards and over clean/level/no pot marks or debris substrates. Owner approved type and color.

FINISH CARPENTRY GENERAL - Provide all finish carpentry work as shown on the Drawings or specified herein, unless noted otherwise. Erect all work in line and level, secure and permanently set in place. Provide required blocking and supports for finished work. Receive those specialties built into or on work of this Section, adjust all millwork and hardware to operate freely, properly and without undue stresses from binding. Provide wood thresholds as required or as noted at all floor material transitions.

All closet or utility shelving shall be medium density fiberboard with fiberace Grade 1 with oil base point finish. Provide 1" wood hanger rod, unless otherwise requested.

FINISH CARPENTRY QUALITY ASSURANCE - All woodwork shall comply with A.W.I. Standards (American Wood Institute).

Provide fire-retardant treated wood where required by applicable codes.

FINISH CARPENTRY MATERIALS - Casings, jambs, trim, sills, steps, shelves, newel post, railings, handrails and paneling.

PLASTIC LAMINATE COUNTER:

- Countertops shall be fabricated from particle board partitions except where top of wall has wallboard finish.
- Provide back painting or laminate backing on non-exposed face of countertops and backsplashes.
- Scribe countertops to walls for 0" to 1/4" maximum joint width. Seal resulting joint with silicone sealant, color to match countertop. Provide scribe edge on back of backsplash.
- Countertops shall be formed with eased edge post formed plastic laminate finish and integral 4" high backsplash at backside of counter.
- Laminate on counter surface shall be without seams.
- Provide cutouts for sinks, lavatories, and appliances. Seal edges or finish with plastic laminate material.
- All plastic laminate partitions shall be anchored rigidly in place with concealed anchors.
- Field measure for all countertops prior to fabrication and submit shop drawings for review.

GENERAL ACCESSIBILITY NOTES:

All controls and operating mechanisms to be within reach range per ICC/ANSI A117.1-2003 Chapter 3.308 and 3.309, (ie. 15" to 48" AFF)

See ICC/ANSI A117.1-2003 Chapter 7.703 for all signage requirements. See ICC/ANSI A117.1-2003 Chapter 7.703.3.11 for location of permanent room and space signage requirements. Provide diagram with horizontal and vertical dimensions. See also IAC 400.310(u) for signage requirements

Provide proper maneuvering clearance at door per ICC/ANSI A117.1-2003 Chapter 4.404.2.3

All new or altered doors to have lever-operated hardware per ICC/ANSI A117.1-2003 Chapter 4.404.

All doors must have 32" clear door opening measured from face of the door when it is opened 90% to the door stop per ICC/ANSI A117.1-2003 Chapter 4.404

All doors leading into hazardous rooms or spaces to have knurled hardware. Identify these doors on the door schedule per CBC Chapter 18-11-1109.9.5

All public and common area interior doors to have 5# max. force to open per IAC 400.310 (J-10) All public and common area exterior doors to have 8.5# max. force to open per IAC 400.310 (J-10)

Forward/front approach and side/parallel approach reach range for all controls and operating mechanism to be 15" to 48" per ICC/ANSI A117.1-2003 Chapter 3.308

ABBREVIATIONS:

V.I.F.	VERIFY IN FIELD	DWGS.	DRAWINGS
CONT.	CONTINUOUS	S.S.	STAINLESS STEEL
N.I.C.	NOT IN CONTRACT	PREFIN.	PREFINISH
NESS.	NECESSARY	MTL.	METAL
SIM.	SIMILAR	STL.	STEEL
SQ. FT.	SQUARE FEET	GA.	GAGE
PLB.	PLUMBING	STDS.	STANDARDS
STRUCT.	STRUCTURAL	LB.	POUNDS
ELECT.	ELECTRICAL	W.W.F.	WELDED WIRE FABRIC
MECH.	MECHANICAL	INCH	INCH
HR.	HOURL	OPP. HD.	OPPOSITE HAND
SHT.	SHEET	C.M.U.	CONCRETE MASONRY UNIT
WD.	WOOD	INS.	INSULATION (ED)
CONC.	CONCRETE	MANUF.	MANUFACTURER
GYR. BD.	GYPSUM BOARD	JT.	JOINT
SCHDULE	SCHEDULE	MIN.	MINIMUM
ASTM	AMERICAN STANDARDS AND TESTING METHODS	U.N.O.	UNLESS NOTED OTHERWISE
TYP.	TYPICAL	O.C.	ON CENTER
W/	WITH	EQ.	EQUAL
ALUM.	ALUMINUM	REQ.	REQUIRED
SPEC.	OUTLINE SPECIFICATION/GENERAL NOTES	FIN.	FINISH
MAX.	MAXIMUM	W/D	WASHER/DRYER
UL	UNDERWRITERS LABORATORIES	GALV.	GALVANIZED
TP	TOILET PAPER HOLDER	PNT.	PAIN
DW	DISHWASHER	EXT. / E / EXIST.	EXISTING
REFRIG.	REFRIGERATOR	B.	BASE CABINET
W.	WALL CABINET	SB.	SINK BASE CABINET

GENERAL ACCESSIBILITY NOTES (CONT.):

Forward/front approach and side/parallel approach reach range for all controls and operating mechanism to be 15" to 48" per ICC/ANSI A117.1-2003 Chapter 3.308

Carpet pile thickness not to exceed 3/8" per ICC/ANSI-2003 Section 302.2 Please also note: Carpet pile thickness is from floor finish to top of pile per ICC/ANSI-2003 Section 302.2

All reception and/or transaction counters to have portion set between 28" to 34" AFF in height and 36" min. in length per CBC Chapter 18-11-1101.31 (5)

Floor surface shall be firm stable and slip resistant per ICC/ANSI-2003 Section 302.1

All new, altered, relocated or replaced fire alarm or emergency warning system to comply fully with ICC/ANSI A117.1-2003 section 7.702. All visual alarms to be synchronized throughout. Per ICC/ANSI A117.1-2003 Chapter 702 (ACGT00033)

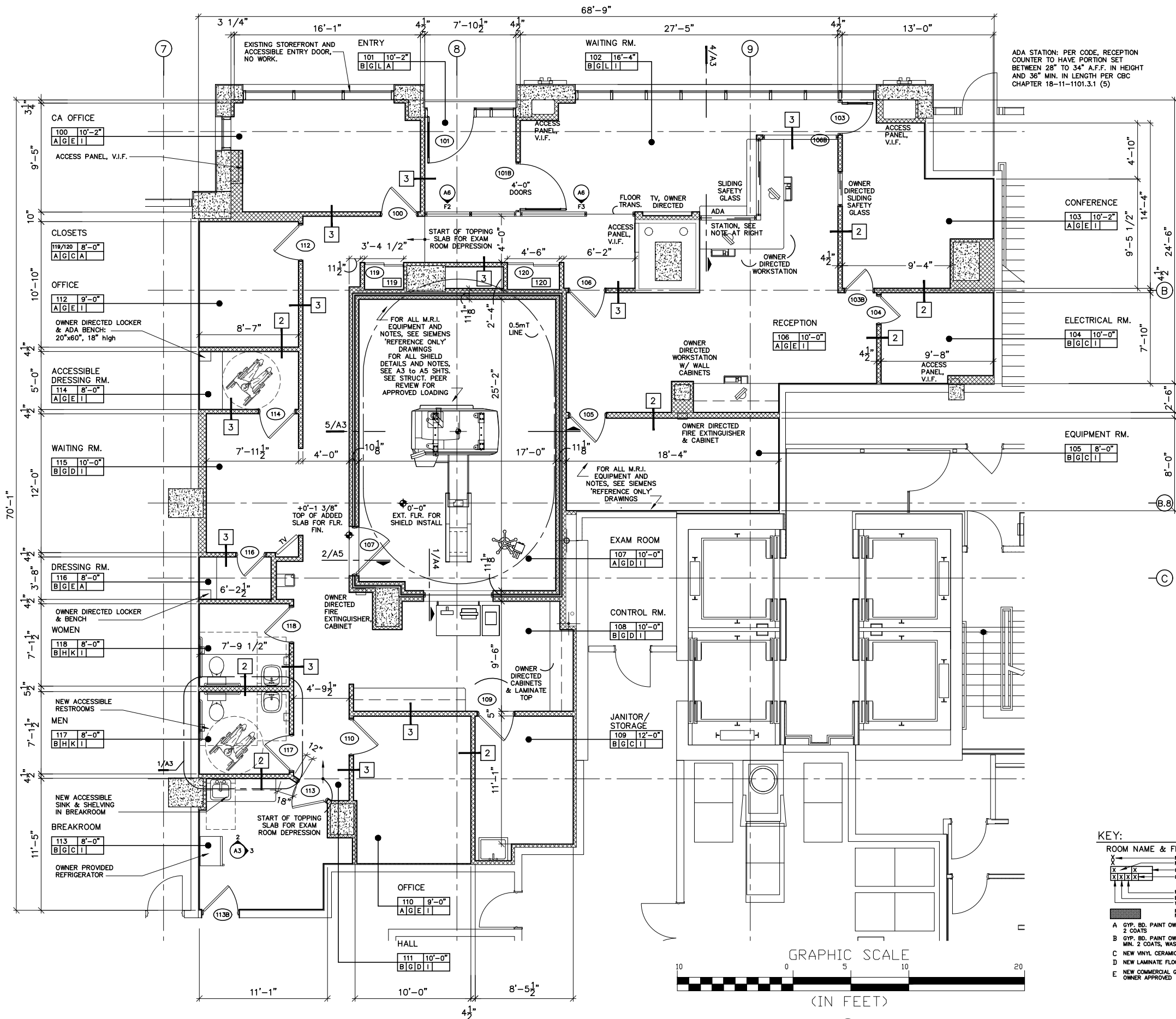
Provide in portion of each coat closet shelf/rad to be 48" AFF max. to top with an accessible route for a forward or parallel approach per ICC/ANSI A117.1-2003 Chapter 9.905. (ACGT00049) Also provide elevation with shelf and rod heights.

Confirm accessible Hi-Lo drinking fountain per CBC Chapter 18-11-1109.5.2 and ICC/ANSI

- A117.1-2003 Chapter 602 (ACGT00023)
- Accessible Height drinking fountain to be 36" AFF max. to spout. (ACGT00023)
- Standard Height drinking fountain to be 38" to 43" AFF to spout. (ACGT00023)
- Accessible route to accessible drinking fountain. (ACGT00023)
- Cane detection not higher than 27" AFF underneath accessible drinking fountain (ACGT00023)
- 2'-6" x 4'-0" clear floor space for a forward approach (ACGT00023) Parallel approach centered on the drinking fountain is permitted for existing buildings

CITY OF CHICAGO DEPARTMENT OF CONSTRUCTION AND PERMITS
GENERAL BUILDING REQUIREMENTS Chicago Building Code (CBC) 2002 Edition

ITEM	ISSUE	CHAPTER/ARTICLE	Ordinance Requirement	Actual	Requirement N/A	Location/Agency/Sheet No.	Test No.	REMARKS
PART 1 – ZONING REQUIREMENTS								
1.01	Zoning District	C20 Title 17	–	PD #9	–	CVI	–	
1.02	Lot Area	–	N/A	35620	–	CVI	–	
1.03	Maximum Floor Area Ratio	–	N/A	N/A	–	CVI	–	
1.04	Total Building Area	–	N/A	–	–	CVI	–	
1.05	Building Height–No. of FLS	–	EXT.	–	–	CVI	–	
1.06	Minimum Yards	–	–	–	–	CVI	–	
1.07	Grade Elevation (CGD)	–	–	–	–	–	–	
1.08	Off Street Loading	–	N/A	–	–	–	–	
1.09	Off Street Parking	–	EXT.	–	–	–	–	
1.10	Unloading	–	N/A	–	–	–	–	
1.11	Overhouse Ordinance	–	N/A	–	–	–	–	
PART 2 – BUILDING REQUIREMENTS								
2.01	Occupancy Classification (A)	813–561 page 115E	E	–	–	CVI	–	
2.02	Height and Area Limitations	813–481 page 263 I	N/A	–	–	CVI	–	
2.03	Conditions in Area Limits	813–481 page 265 I	N/A	–	–	CVI	–	
2.04	Mixed Occupancy Buildings	813–481 page 266 I	N/A	–	–	CVI	–	
2.05	Types of Construction	813–601 page 329 I	–	–	–	–	–	
2.06	Mixed Occupancy Separation	813–601 page 329 II	N/A	–	–	CVI	–	
2.07	Fire Resistance	813–60–100 pa.332	–	–	–	–	–	
2.08	Exterior Bearing Walls	813–613–600 N/A	–	–	–	–	–	
2.09	Exterior Nonbearing Walls	813–613–600 N/A	2	–	–	CVI, AI	–	
2.10	Interior Bearing Walls	813–613–600 N/A	1/2	–	–	–	–	
2.11	Interior Nonbearing Walls	813–613–600 N/A	1/2	–	–	–	–	
2.12	Columns	813–613–600 N/A	1	–	–	–	–	
2.13	Columns Supporting Roofs	813–613–600 N/A	1	–	–	–	–	
2.14	Beams	813–613–600 N/A	1	–	–	–	–	
2.15	Beams Supporting Roofs	813–613–600 N/A	1/2	–	–	–	–	
2.16	Floor Construction	813–613–600 N/A	N/A	–	–	–	–	
2.17	Roof Construction	813–613–600 N/A	N/A	–	–	–	–	
2.07	Mezzanine Floors	813–60–160 pa.332	Unrated	Unrated	–	Mezz. under 10% of first floor area, see A1	–	
2.10	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.11	Fire – Resistive Materials and Construction	715–8-380 pa.332	–	–	–	–	–	
2.12	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.13	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.14	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.15	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.16	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.17	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.18	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.19	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.20	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.21	Fire – Resistive Materials and Construction	715–8-380 pa.332	–	–	–	–	–	
2.22	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.23	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.24	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.25	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.26	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.27	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.28	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.29	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.30	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.31	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.32	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.33	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.34	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.35	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.36	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.37	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.38	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.39	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.40	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.41	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.42	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.43	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.44	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.45	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.46	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.47	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.48	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.49	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.50	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.51	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.52	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.53	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.54	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.55	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.56	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.57	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.58	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.59	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.60	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.61	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
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2.65	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.66	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.67	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.68	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
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2.72	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.73	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.74	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.75	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.76	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.77	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.78	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.79	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
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2.101	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.102	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.103	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.104	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.105	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.106	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.107	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
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2.109	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.110	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.111	Fire – Resistive Materials and Construction	715–8-380 pa.332	–	–	–	–	–	
2.112	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.113	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
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2.120	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.121	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.122	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.123	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.124	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.125	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
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2.133	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
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2.137	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
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2.140	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2.141	Fire-Resistive Requirements	715–8-380 pa.332	–	–	–	–	–	
2								



1 HR RATED WALL
STC 50
UL 263 DESIGN
NO. U404

5/8" GYPSUM BOARD, BEVELED AND TAPED EDGES, FASTEN W/ S-12 LONG SELF TAPPING WALLBOARD SCREWS - 8" O.C.

NEW 3 1/2", 20 MSG GALV. STL. (16" O.C.) RUNNERS W/ 3/8" LONG TYPES-12 STL. SCREWS BOTH SIDES OF STUDS

3" SAFB-RC 1 CHAN OR EQUIV. ONE SIDE, PANELS APP. HORIZ. & ATT. TO CHANNELS, END JOINTS BACK-BLOCKED W/ RC-1 CHAN W/ 1" SCREWS, PERIMETER CAULKED

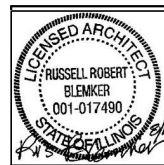
WALL TYPE 3 WALL DETAIL
SCALE: 1 1/2" = 1'-0"

UNRATED WALL

5/8" GYPSUM BOARD, BEVELED AND TAPED EDGES, FASTEN W/ S-12 LONG SELF TAPPING WALLBOARD SCREWS - 8" O.C.

NEW 3 1/2", 20 MSG GALV. STL. (16" O.C.) RUNNERS W/ 3/8" LONG TYPES-12 STL. SCREWS BOTH SIDES OF STUDS

WALL TYPE 2 WALL DETAIL
SCALE: 1 1/2" = 1'-0"



A PROJECT BY
RUS ARCHITECTS/RENDERERS, INC.
430 SOUTH CLAYTON SUITE 217
CHICAGO, IL 60605
PHONE: (312) 896-1596
FAX: (312) 896-1596

REMODEL PLANS

CHICAGO, ILLINOIS

MRI OF RIVER NORTH
559 WEST KINZIE STREET

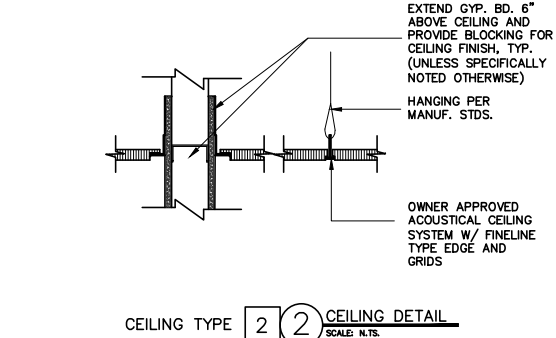
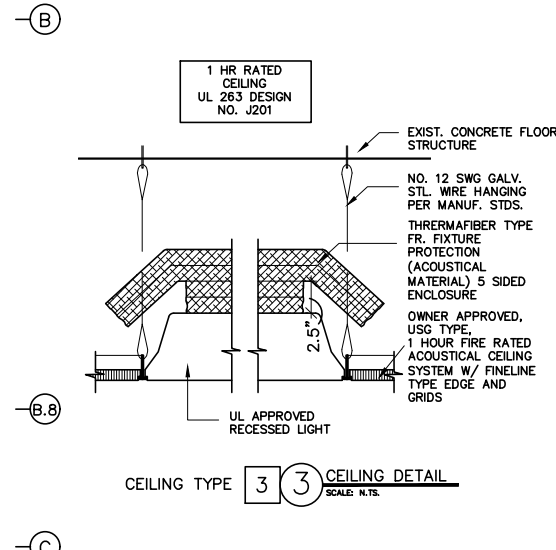
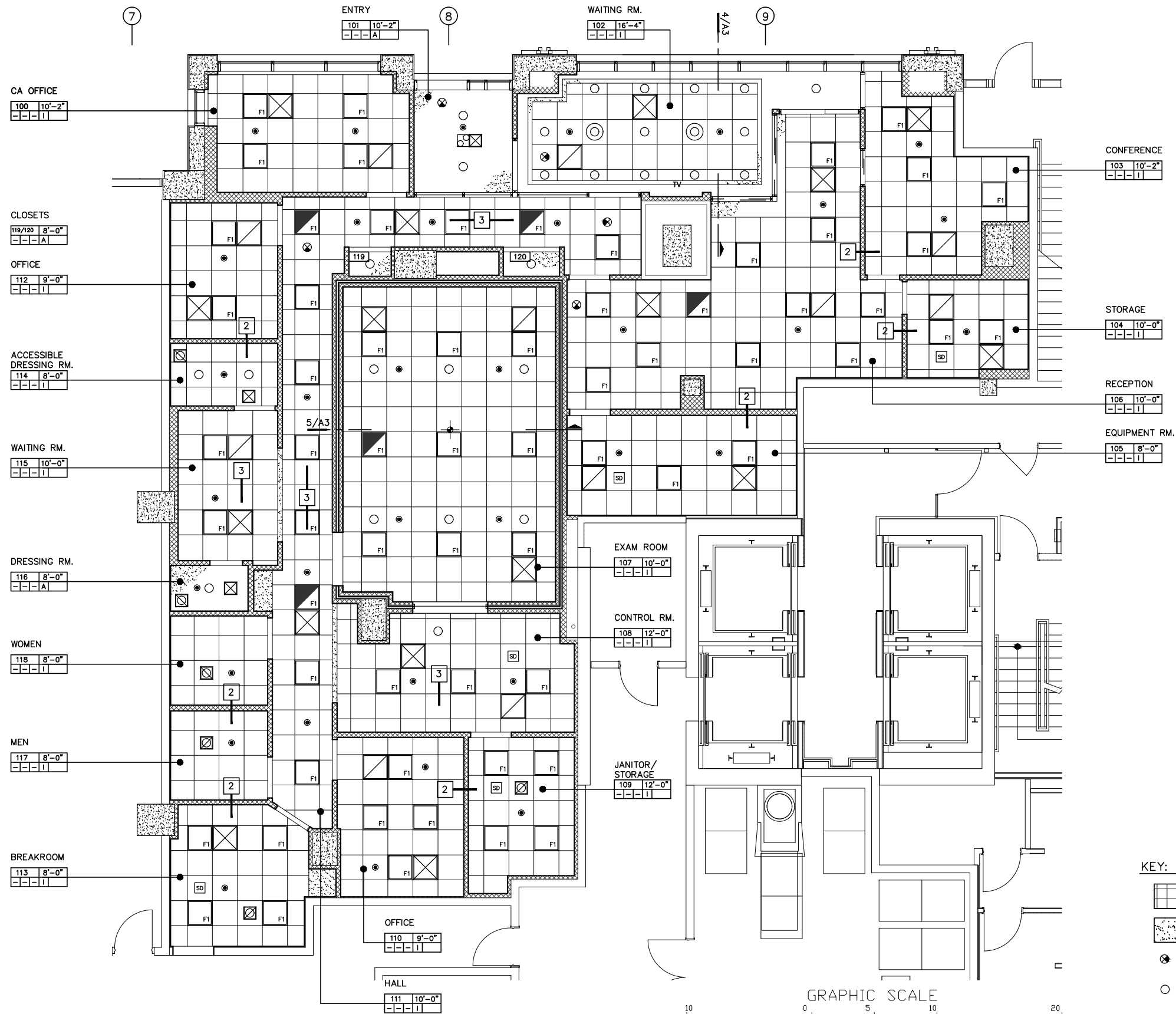
NO.	DATE	BY	REVISIONS	PERMIT	FILE NAME
1	6/21/12	RRB	1	7/30/12	8/1/12
2	6/22/12	RRB	2		
3	6/27/12	RRB	3		
4	6/28/12	RRB	4		
5	7/6/12	RRB	5		
6	7/10/12	RRB	6		

DATE 6/12

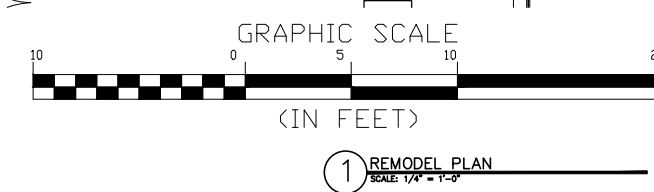
JOB #

SHEET

A-1



- KEY:**
- NEW 2' x 2' ACOUSTICAL CEILING PER OWNER APPROVAL
 - NEW GYPSUM BOARD CEILING
 - NEW EXIT SIGN W/ BATTERY BACKUP FEED FROM EXT. EMERGENCY PANEL
 - NEW RECESSED CAN INCANDESCENT VANTAGE #RNC-150 MAXA21-SCL/BL, 1-150 WATT, OR EQUAL, OWNER APR.
 - NEW 2'-0" x 2'-0" RECESSED FLUORESCENT TROFFER 88 W, 120V THOMAS/DAY-BRITE 2P3525111-33P1-120-1/2-EB LAMP: (3) F32TB/74, OR EQUAL
 - NEW EMERGENCY LIGHT W/ BATTERY BACKUP FEED FROM EXT. EMERGENCY PANEL
 - NEW AIR SUPPLY GRILLE, OWNER APR.
 - NEW AIR RETURN GRILLE, OWNER APR.
 - NEW SPECIALTY PENDANT FIXTURE PER OWNER
 - NEW SMOKE DETECTOR HARDWIRED BACK TO PANEL
 - NEW FAN W/ LIGHT, OWNER APR.
 - NEW EMERGENCY LIGHT W/ BATTERY BACKUP FEED FROM EXT. EMERGENCY PANEL RELOCATED SPRINKLER HEAD PER LICENSED SPRINKLER CONTRACTOR.



rus
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CHICAGO, ILLINOIS 60606
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A PROJECT BY

**REMDEL PLANS
REFLECTED CEILING**

MRI of RIVER NORTH
559 WEST KINZIE STREET
CHICAGO, ILLINOIS

NO.	DATE	BY	REVISIONS
1	7/2/12	RRB	CLIENT
2	7/10/12	RRB	CLIENT & CONSULTANTS
3	7/30/12	RRB	COORDINATION
4	8/1/12	RRB	PERMIT

DATE: 6/12

JOB # -

SHEET **A-2**

