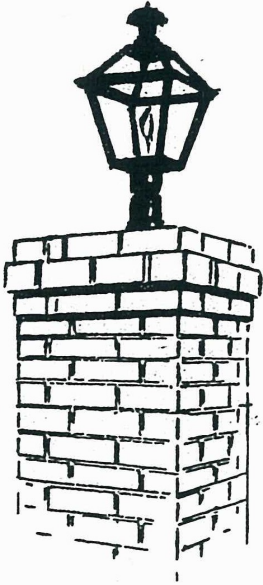


WOULD YOU BUY YOUR HOME BACK?



When looking for a home, whether you are a first time buyer, someone who is up grading to a larger house, or a new resident to the city, the first thing you consider is the location of the subdivisions available. As we know, realtors will always say it's all about "location-location-location".

Those of us who live here in Tara will be the first to say to others, "we are so centrally located and convenient to everything". Just recently, I have heard it expressed that Tara Subdivision is one of the hot spots of town. Even though our subdivision is one of the older ones, this area is still very desirable.

Many new families with younger children have been moving into Tara to be close to good schools. There are residents, who grew up in Tara, which have moved back into Tara with their families. This is exciting. It says a lot for Tara Subdivision!

Let's think about property values for a minute.

If you were presently looking for a house, *would you buy back your home?* In other words, does your home, in its present condition, look attractive enough for you to consider buying?

Each year as fall approaches, we usually do an article for our newsletter encouraging all resident to take a serious look at not only their homes but also their yards. Making improvements will add value to your property and also retain property values in the neighborhood as a whole.

For the most part, residents here in Tara keep property maintenance in mind but unfortunately, there are many homes which are in different stages of some serious maintenance. If you are a walker, jogger, or bike rider, you know this to be true. The Civic Association often receives complaints about some of these issues. Especially in the area of lawns which are not maintained on a constant basis; mowing, weed eating and flower bed upkeep are all part of this issue.

Here are some of the trouble spots which can be easily seen: peeling paint on fascia boards, rotting and unpainted overhangs, shutters that need mending or painting, front doors needing cleaning, etc. Any of these issues are all of these issues show signs of neglect and contributes to the decline of that person's property value and endangers everyone's property value.

Realtors will tell you that "you pay up front or you pay on the back side". If property maintenance is neglected your house value decreases. Homes which are taken care of sell for better prices. And what is better, homes which have been updated sell for the best value!

Together we can all make a difference! We can keep Tara an attractive place to live where home values remain high, if everyone makes an effort to make their home the best it can be.

Please give this some thought. Take a look around your home and ask yourself, "would I buy this home back looking like it does"?



Capital Reserve Improvements to the Subdivision

The board has identified a number of projects that they felt were important to the subdivision. The improvements will be done in phases. Phase one improvements will include new entrance signs at the North and South entrances to the neighborhood. The signs will be new and updated, while at the same time incorporating some design elements of the old signs. Phase two will include new street and stop signs along the boulevard. Phase one and two will be completed by end of 2019.

Deed Restrictions

Tara Subdivision Deed Restrictions are aimed at ensuring that there is an aesthetic uniformity between your property and neighboring properties and that certain other activities are limited. Deed restrictions are legally binding and can be enforced by Tara Civic Association. Every resident should be familiar with the Deed Restrictions and abide by them. A summary of some of the more important segments is shown below. Copies of the complete Deed Restriction for each filing can be found at taracivicassociation.org.

1. All lots shall be used for single-family residential dwellings.
2. No trade or business activity shall be conducted from a house or lot. A home office is permitted as long as the activity does not detract from the residential character of the subdivision.
3. If a house is rented, the owner remains responsible for a) complying with all deed restrictions, b) maintaining the property, and c) ensuring the renter complies with all deed restrictions.
4. No commercial vehicle, recreational vehicle, trailer, or bus shall be parked or stored in the street and out of view from the street.
5. Approval from the Architectural Committee is required for any additions, remodeling or new construction.
6. Dogs are to be leashed and required to be restrained at all times.
7. Property owners shall maintain the lot, landscaping, and all improvements on any lot in good repair and in a neat and orderly manner.
8. Unenclosed garages, carports, and driveways visible from the street shall be maintained free of clutter to the extent that such causes and unsightly appearance.
9. No buildings or improvements of any kind, including fencing, shall be erected, placed, or altered on any lot until the construction plans and specifications have been submitted and approved by the board or its Architectural Control Committee. This includes but not limited to type of roofing, color of paint and other materials and specifications which the board or Architectural Control Committee, in its sole discretion, shall deem to be compatible and in harmony with the general appearance of other dwellings in the subdivision.

Brrr, It's Cold Outside

Crazy to think we have already had our first freeze. Remember to protect your pets, plants and pipes.

PREPARE YOUR HOME FOR WINTER

BEFORE COLD WEATHER SETS IN:

- Check sprinkler or irrigation systems**
Make sure you've turned everything off and fully drained the system.
- Identify your home's freezing points**
Check your home for pipes in areas that might be prone to freezing, such as crawl spaces, unheated rooms, basements, garages, and exterior walls.
- Know how to shut off your water**
Locate your main water shut-off valve. Hang the I.D. tag located on the back of this insert on the valve, so you can find it quickly in an emergency.
- Strengthen your defenses**
Eliminate sources of cold air near water lines by closing off crawl spaces, fixing drafty windows, insulating walls and attics, and plugging drafts around doors.
- Protect your pipes**
Where pipes are exposed to cold, wrap them with insulation or heat tape (even fabric or newspaper can help).

WHEN TEMPERATURES STAY BELOW FREEZING:

- Give pipes a helping hand**
If pipes run through cabinets or vanities, open the doors to let warmer room temperatures flow in.
- Keep water working**
Keep water moving through the pipes by allowing a small trickle of water to run. The cost of the extra water is typically lower than the cost of repairing a broken pipe.

BUT IF YOUR PIPES DO FREEZE:

- Shut off the water immediately**
Don't attempt to thaw pipes without turning off the main shut-off valve.
- Thaw pipes with warm air**
You can melt the frozen water in the pipe by warming the air around it with a hair dryer or space heater. Be sure not to leave space heaters unattended and avoid the use of kerosene heaters or open flames.
- Be careful turning water back on**
Once pipes are thawed, slowly turn the water back on and check pipes and joints for any cracks or leaks that might have been caused by freezing.

Upcoming Events

Annual Christmas Decoration and Lighting Contest



LIGHT IT UP!

Tuesday December 11th
from 6-10pm

Prizes awarded for following categories:

Best Door, Best Children's, Best Religious, Best Lighting, Most Original, and Judges Choice

(Judges are from neighboring subdivisions)

Louisiana Marathon Sunday, January 20, 2018 Volunteers Needed

The Louisiana Marathon is official Boston Qualifier route. It features a fast, flat, runner-friendly path through the lakes, along the river, around downtown, on the university campus and in historic neighborhoods. Friends, family and enthusiastic spectators line up along the course in various spots to cheer on the runners, making for a spirited marathon.

Tara Subdivision is part of the full marathon course and volunteers are needed to pass out water, powerade, and energy gel packs as well as cheer on the runners. Runners come from all over and we want to show them what southern hospitality is all about. More info will follow by email about signing up to volunteer.

If you are interested in running, there will be a full, half, quarter, 5K and kids marathon. You can sign up at: www.thelouisianamarathon.com/marathon/



Annual Progressive Yard Sale Saturday March 23, 2018

Save the date and your stuff! Next year's progressive garage sale will be held on Saturday March 23th.

If you would like to participate, start saving your items now. This has become a yearly event for Tara. A map of all participating homes will be created. It is always an enjoyable event for the neighborhood. More information about the garage sale will be included in our February Newsletter

Around the neighborhood

Website: There is a new page listing some important information concerning certain topics which often come up. It is very informative and contains links to various agencies. **Check it out** on www.taracivicassociation.org

New Neighbors

Robert & Robin Breazeale	8533 Scarlett
Dustin & Jessica Davis	8865 Trinity
Jim & Gwen Guernsey	1443 Crescent
Michael & Leigh Hendry	1267 Ashland
Jason & Monique Juban	1023 Ashland
Derek & Kara Mathews	1050 Oakley
Roger & Amanda McGuire	1258 Tara Blvd.
Jeff & Jenna Ortego	1372 Crescent
Laurie Salvaggio	8751 Scarlett
Gerald & Megan Songy	8974 Bayside
Jason Rumfola & Bambi Pizzolato	1410 Bon Durant



Yard of the Month

September:

Christina & Tom Horsman, Longview

> October:

Jennifer and Tim Matthews, Cottage

> November:

Tillie Lee, Cottage

Winners received a \$25.00 gift certificate compliments of Louisiana Nursery on Coursey Boulevard. We thank them for their continued support



TARA CIVIC ASSOCIATION
1554 TARA BLVD.
BATON ROUGE LA 70806

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TARACIVICASSOCIATION.ORG

Safety During The Holidays

Like most of us, criminals like the holiday season, but for different reasons than us. Between Thanksgiving and New Year's Day, thefts, burglaries, and property crimes greatly increase.

- Always stay alert and be aware of your surroundings.
- It is best to shop during the day, if you must shop at night have someone with you.
- Hide packages in your car and when carrying them make sure you have freedom to move quickly in and out of your vehicle..

Something To Cook For The Holidays

Dirty Rice -This one is super easy!

Ingredients:

1lb Jimmy Dean Sausage
1lb lean ground beef
1 Can Cream of Mushroom
1 Can French Onion Soup
1 1/2 Cups Rice

Chopped Onion, Bell pepper and Celery

Seasonings to taste.

Mix all ingredients in a big bowl, spread in a baking dish, sprinkle with seasoning, cover with foil. Bake at 400 for 1 1/2 hours.

Live in
THANKSGIVING
daily

Reminders

TARA SUBDIVISION IS A DEED RESTRICTED SUBDIVISION.

There is a form available for use by residents who are planning to make revisions, modifications or additions to their property. If you are planning such a project, you **MUST** submit a completed copy of the property owner's application for building or remodeling available at <http://www.taracivicassociation.org/before-you-build>

Fill out and mail to the Architectural Control Committee (address on form). The committee will review the plans and will notify you of their approval or disapproval within thirty (30) days.

SECURITY ISSUES

Emergencies call 911

Non-Emergencies call

City Police 389-2000

See Something Say Something

If you see suspicious activity, report it. Use your cell phone to snap a picture.

If you are going out of town, fill out the form on the website so our officers can keep an eye out.

TARA PRIVATE PATROL UNITS

Chevy Tahoe #430

Chevy Impala #1230

Chevy Impala #1315

Chevy Impala #1404