

# URBAN DESIGN GUIDELINE: VICTORIA

FRANCIS RACHEL STREET  
MARKET STREET  
BENEZET STREET  
CHURCH STREET

HUTEAU LANE (ONGOING)  
ALBERT STREET (ONGOING)  
REVOLUTION AVENUE (ONGOING)

**MINISTRY OF LANDS USE AND HOUSING**  
SEYCHELLES PLANNING AUTHORITY



# URBAN DESIGN GUIDELINE VICTORIA

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SHAM PENG TONG – ALBERT STREET  
ABHAYE VALABJI PTY LTD – REVOLUTION AVENUE  
VICTORIA HOUSE – FRANCIS RACHEL STREET  
SRINIVASAN CHETTY & SONS (PTY). LTD – ALBERT STREET  
HUTEAU LANE COMPLEX – ALBERT STREET  
STORY HOUSE – REVOLUTION AVENUE  
BARCLAYS BANK – ALBERT STREET  
SRINIVASAN CHETTY & SONS (PTY) LTD. – ALBERT STREET  
KINGS GATE HOUSE – INDEPENDENCE AVENUE

## TERMS OF REFERENCE

In preparing these guidelines it is necessary to define the context and extent to which they will be applied. It is proposed that the guidelines will firstly outline the pattern of elements, which make up the urban formal character that is the promenades, (parkland) streets, squares etc.

Secondly design principles dealing with alignment, orientation, scale, amenity (e.g. microclimate, overlooking, etc). Thirdly, the heritage character and context (i.e. composition proportion, articulation, fenestration, materials, colours and finishes). Followed by examples of local case studies showing the kind of development, which might be achieved, in the various urban contexts by following the guidelines. This will be highlighted with illustrations of photographs, drawings and plans i.e. linking the desired future character to explanation and illustrations of design principle, to demonstrated case study.

The boundaries to which these urban design guidelines will be used as a planning tool are Francis Rachel Street, Market Street, Church Street, Benezet Street, Albert Street, Huteau Lane and Revolution Avenue. In addition, areas around or in the vicinity of National Monuments/Historical sites. It must be noted on the outset that Development along these streets in Victoria has preceded any urban design guidelines and the need to circumvent arguments of precedence is taken into account.

## **INTRODUCTION**

There has been a growing recognition of the importance of collective memory in the built environment, and therefore of the need to preserve historic precincts and streetscapes as well as individual buildings of Architectural significance. In addition, the pressures put on the Planning Authority to approve development proposals in the City has resulted in ad-hoc approvals of development along the architecturally sensitive areas of the Central Business District (CBD) of Victoria. Thus the need for urban design guidelines to assist the Planning Authority to advise the general public on appropriate urban design principles prior to submission of development proposals. In addition, when considering development proposals in the CBD of Victoria, such development achieves architectural and urban design outcomes that contribute positively to the local urban character and enhances the public realm while minimising detrimental impacts on neighbouring properties.

## **METHODOLOGY**

A Survey was undertaken in which two types of questionnaire were used; one addressed specifically to the owners of the buildings and the other to the people leasing the buildings. A detailed architectural urban research was undertaken which shall also be used as a base for the remaining future planning stages of the CBD.

The results obtained from the survey have been represented into various graphs, tables and maps providing a general overview of the various features of the buildings and opinions of the people who are using or own the premises. This together with a study of the urban past and context were analysed. The results of, which are included in the proposed urban design guidelines, taking into consideration architectural style, proportion, articulation, heights, materials and other relevant details.

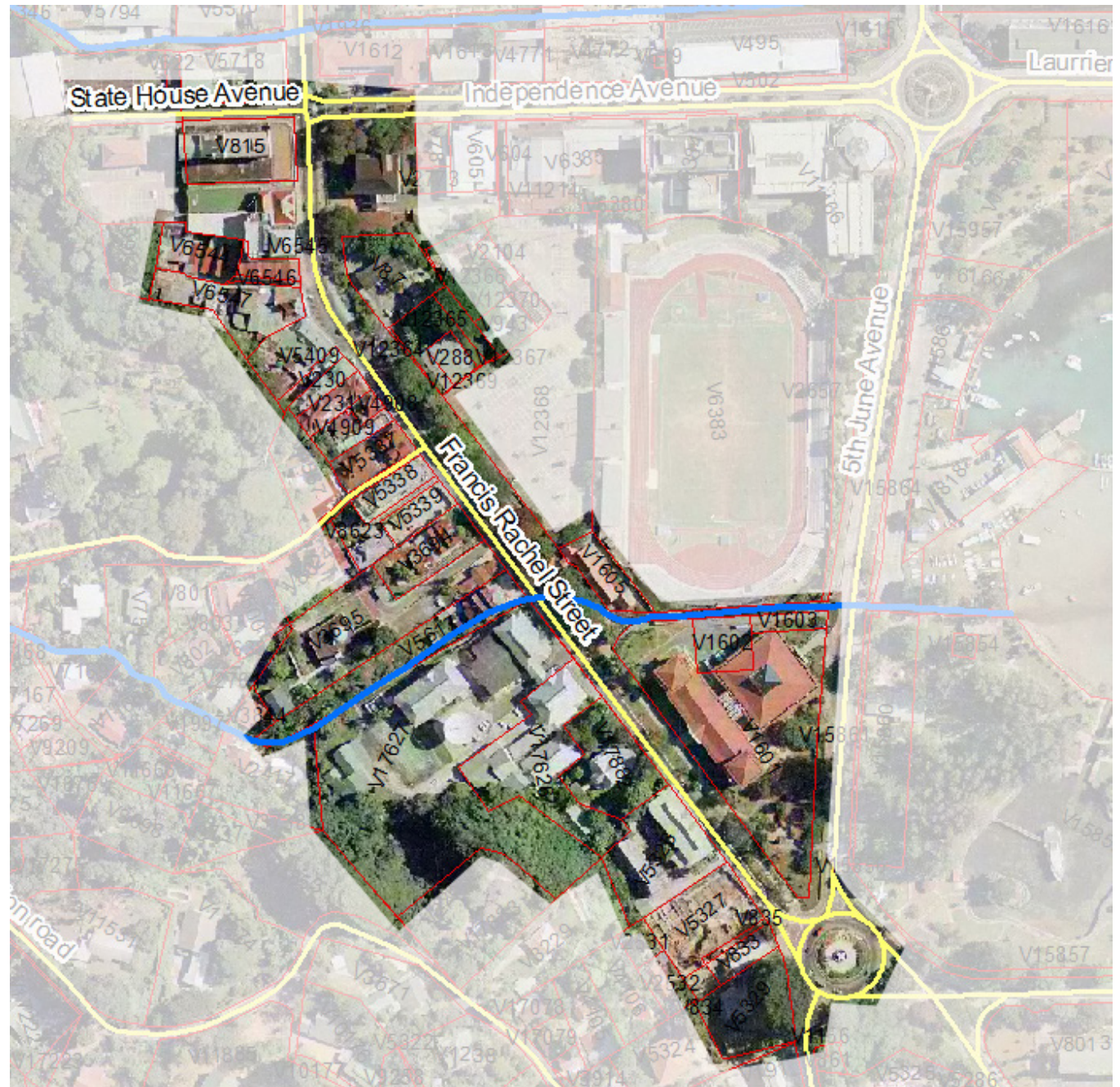


**FRANCIS RACHEL STREET**

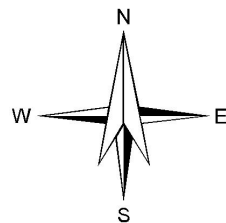


## 1.0 FRANCIS RACHEL STREET

Francis Rachel Street is taken as the first in the series of guidelines to be proposed for the CBD of Victoria. It was the initial and still is the main direct arterial into the CBD from the south. It is thus situated on the approach into Victoria from the airport and is one of the first sights of the old town seen by tourist/visitors, which is also one of the last remaining good representations of a typical street of Victoria (refer to Map 1 for locational context of the street).



MAP 1



## 2.0 SURVEY ANALYSIS

### 2.1 ARCHITECTURAL STYLE

There are three main types of architectural building styles along Francis Rachel Street; the Creole style, modern style and a mixture of both Creole and modern architecture (refer to Table 1).

ARCHITECTURAL STYLE - FRANCIS RACHEL STREET

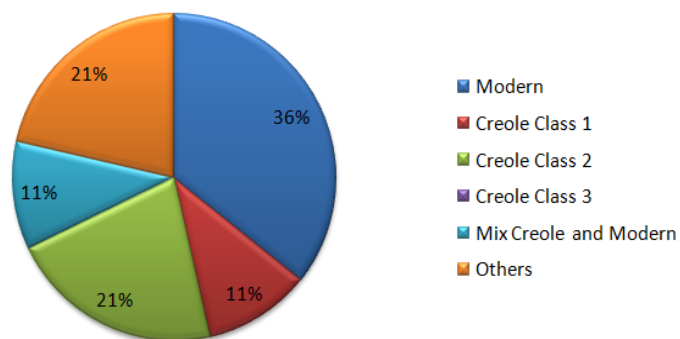


TABLE 1 - FRANCIS RACHEL STREET - ARCHITECTURAL STYLE 2012		
	PARCEL NO.	ARCHITECTURAL STYLE
Victoria House	V815	Modern
Oliaji Trade Centre	V815	Modern
Sound & Vision House	V6545	Modern
Dhanjee	V6547	Creole Class 2
Adam Moosa Building	V5328	Creole Class 2
Three Musketeers PTY	V5409	Mix Creole & Modern
Ebrahim Building	V230	Others
Suleman Maison	V231	Creole Class 2
SPUP - SPPF Museum	V4908	Creole Class 2
Umarji & Sons (PTY) LTD	V4909	Mix Creole & Modern
Chaka Bros	V5337	Creole Class 2
Allied Agency	V5338	Mix Creole & Modern
Aliled Agencies	V5339	Modern
Umarji & Sons (PTY) LTD	V3694	Creole Class 1
Sinnasamy Shop	V3695	Creole Class 2
Islamic Society	V3695	Others
Islamic Society	V5617	Modern
Cable & Wireless	V17627	Modern
Cable & Wireless	V17626	Others
Kenwyn House	V17882	Creole Class 1
Le Chantier Property	V5326	Vacant Land
Citimart - Republic of Seychelles	V5327/V833	Modern
National Library	V1601	Modern
Carrefour Des Arts	V1602/V1603	Others
National Art Council	V1605	Others
Kiosks	V12364	Others
Nouvobanq Development	V87	Modern
Laxcon Holdings PTY LTD	V12365/V288/V12370	Modern
Court House (The Judiciary)	V12364	Creole Class 1

### **2.1.1 CREOLE STYLE**

The street offers a good representation of Creole style architecture that makes up 32% of the total; a good example is Kenwyn House, which is about 100 years old. Other buildings, which fall in this category, are Chaka Bros., the SPUP/SPPF Museum and Adam Moosa. This style is also a representation of Seychelles traditional heritage. All the aforementioned Creole style buildings are in good condition with exception of the first storey of Dhanjee building which was completely burnt. Their respective owners have maintained these buildings over the years and although they are in good condition there is always a need for slight renovations.

### **2.1.2 MODERN STYLE**

Although Francis Rachel Street is considered as a traditional area, the majority of buildings are of modern style which accounts for 36% of the total buildings. In comparison with the 2001 building Architectural Style survey, buildings of modern style have increased by 3%, causing a decrease of buildings with Creole architecture. This is primarily due to majority of development proposals along Francis Rachel Street being mainly of modern architectural style.

### **2.1.3 MIXTURE OF CREOLE AND MODERN ARCHITECTURE**

A mixture of Creole and modern architecture can be appreciated in 11% of buildings. Most of the old houses that have been demolished, their owners have tried to integrate some original aspects of the old architectural style in the new buildings where possible. The part that mostly reflects the Creole style is the roof.

The survey of both the owners and tenants revealed that 26% would prefer to see a retention of the Creole style architecture; 23% a mix of the two; 35% modern style whereas 16% reserved their opinion. The main reason given by the high percentage calling for modern style buildings is that they regard it as a sign of economic development.

## 2.2 CONDITION OF BUILDINGS

Table 2 and Figure 1 shows the proportional conditions of the buildings on the street; 64% are in good condition and 18% are in fair condition respectively; 4% are under construction whilst 14% of development has been proposed.

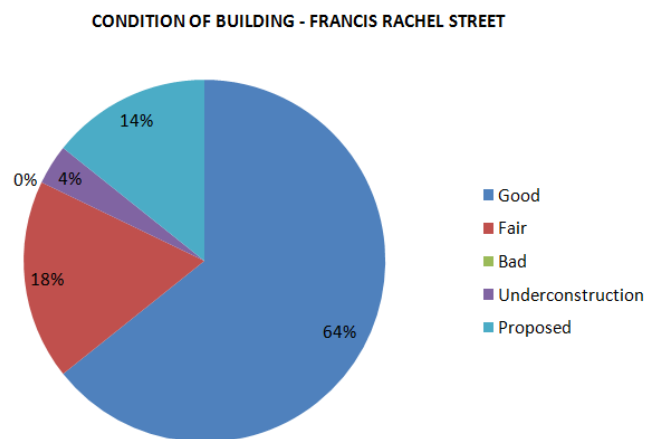


FIGURE 1 - CONDITION OF BUILDING

TABLE 2 - FRANCIS RACHEL STREET - CONDITION OF BUILDING 2012		
	PARCEL NO.	CONDITION OF BUILDING
Victoria House	V815	Good
Oliaji Trade Centre	V815	Good
Sound & Vision House	V6545	Good
Dhanjee	V6547	Fair
Adam Moosa Building	V5328	Good
Three Musketeers PTY	V5409	Proposed
Ebrahim Building	V230	Good
Suleman Maison	V231	Good
SPUP - SPPF Museum	V4908	Good
Umarji & Sons (PTY) LTD	V4909	Fair
Chaka Bros	V5337	Good
Allied Agency	V5338	Fair
Aliled Agencies	V5339	Good
Umarji & Sons (PTY) LTD	V3694	Fair
Sinnasamy Shop	V3695	Good
Islamic Society	V3695	Underconstruction - New Mosque
Islamic Society	V5617	Proposed
Cable & Wireless	V17627	Good
Cable & Wireless	V17626	Good
Kenwyn House	V17882	Good
Le Chantier Property	V5326	Vacant Land
Citimart - Republic of Seychelles	V5327/V833	Fair
National Library	V1601	Good
Carrefour Des Arts	V1602/V1603	Good
National Art Council	V1605	Good
Kiosks	V12364	Good
Nouvobanq Development	V87	Proposed
Laxcon Holdings PTY LTD	V12365/V288/V12370	Proposed
Court House (The Judiciary)	V12364	Good

## 2.3 ACTIVITIES

As a street in Victoria the capital city, Francis Rachel Street is quiet similar to most areas in Victoria in the sense that based on previous planning there was no zoning of activities. Therefore, variety of land use activities has been carried out along this strip. These activities have been categorised in three main groups; residential, commercial and offices. This indicates that the street can accommodate for variety of development which shows that there is efficiency of the land use, in turn adding vibrancy to the street.

### 2.3.1 COMMERCIAL

The most dominant activity is commercial which accounts for 25% of the total activities on the street, as accessibility to the shops is reasonably convenient (refer Figure 2). There are about eighteen buildings on Francis Rachel Street, which deals in commercial activities and the range of services they provide varies from specialist, retail shops, restaurants, takeaway and shops providing the daily basic needs such as the Citimart. The majority of people in commercial activities lease their premises.

### 2.3.2 OFFICES

As shown in Figure 2, Offices make up for 11% of the total activities along Francis Rachel Street. There are a total of 11 buildings with office services, of which 3 are specifically used for office purpose and the other 8 buildings are mixed with commercial. The main buildings catering for this type of activity are Victoria house, Allied Agency, and the buildings belonging to Cable & Wireless, including Kenwyn House, Oliaji Trade Centre, the future proposed building by the Islamic Society, the Laxcon and Nouvobanq buildings. The types of offices on Francis Rachel Street varies consisting of telecommunication, construction, ambassadorial, accounting, banking and other services. A considerable number of people are employed in these activities.

### 2.3.3 RESIDENTIAL

Although the street has its disadvantages of noise and air pollution, residential activity also occurs on Francis Rachel Street. Buildings specifically of residential use accounts for 7% of the total activity on this street. On the other hand there are 6 buildings used for residential purpose as well as office or commercial. Most of the buildings are two storeys high and the upper parts are used for these purposes whilst the first storey or ground floors are used for commercial or offices. In some buildings the owners are the residents or rent it to individuals or companies.

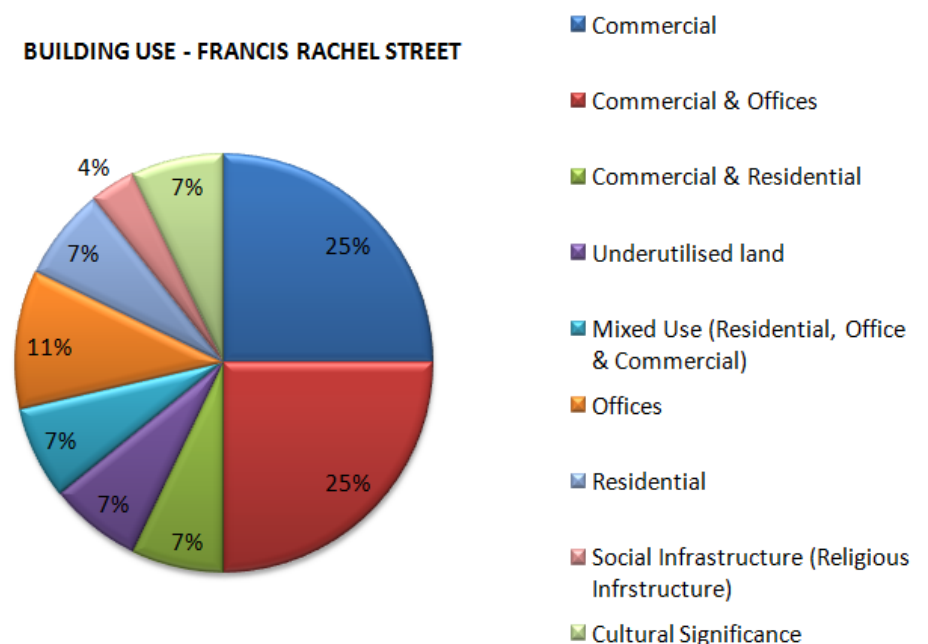


FIGURE 2 - BUILDING USE

## 2.4 LOCATIONAL CONTEXT

Businesses located along this street are at an advantage in view of the importance of the street as a main arterial into the CBD and is therefore one of the most used street in Victoria. However, the survey revealed complaints from shop owners situated in the upper floors of the Oliaji building in that few people knew about their business, due to the location. Whereas shops located on the ground floor were obviously more at an advantage in that customers were easily attracted by the shop displays.

The problem associated with the upper floors could be attributed mainly to a combination of the following: poor management, lack of signage and or this type of departmental shopping is still to become a norm with customers.

In addition, in view of its prime location within the CBD, commercial space attracts high rent. The majority of tenants surveyed complained that rents are too high especially in new buildings.

## 2.5 INFRASTRUCTURAL PROBLEMS

Both the owners and tenants of the buildings have complained that there are various problems in using the street and the buildings. These problems range from the high noise level of traffic to lack of parking space.

The survey revealed that the tenants of Victoria House and Teemoljee were greatly concerned with the lack of loading and unloading space for their shops, which causes them great difficulty. Traffic congestion was also noted as a serious problem, which arises mostly during peak hours.

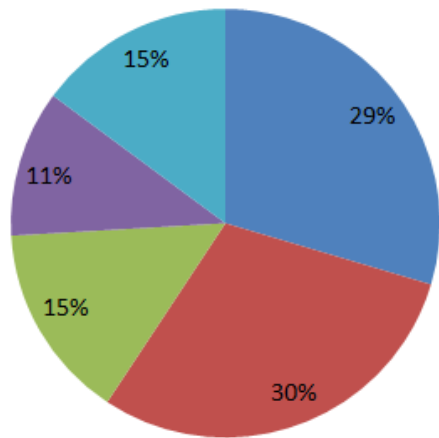
## 2.6 PERCEPTION

Of those surveyed 52% were of the opinion that Francis Rachel Street should maintain its traditional image, whilst Victoria as a whole should contain a mixture of both modern and traditional architectural style. However, they conceded that traditional buildings and facades should be preserved as much as possible as they are good tourist attractions. In doing so however, authorities have to be pragmatic, as the traditional buildings are obviously old buildings and are thus quite expensive to maintain. This is why in certain cases owners have had no alternative other than to demolish the existing buildings and build new ones, which in the long run is more cost effective.

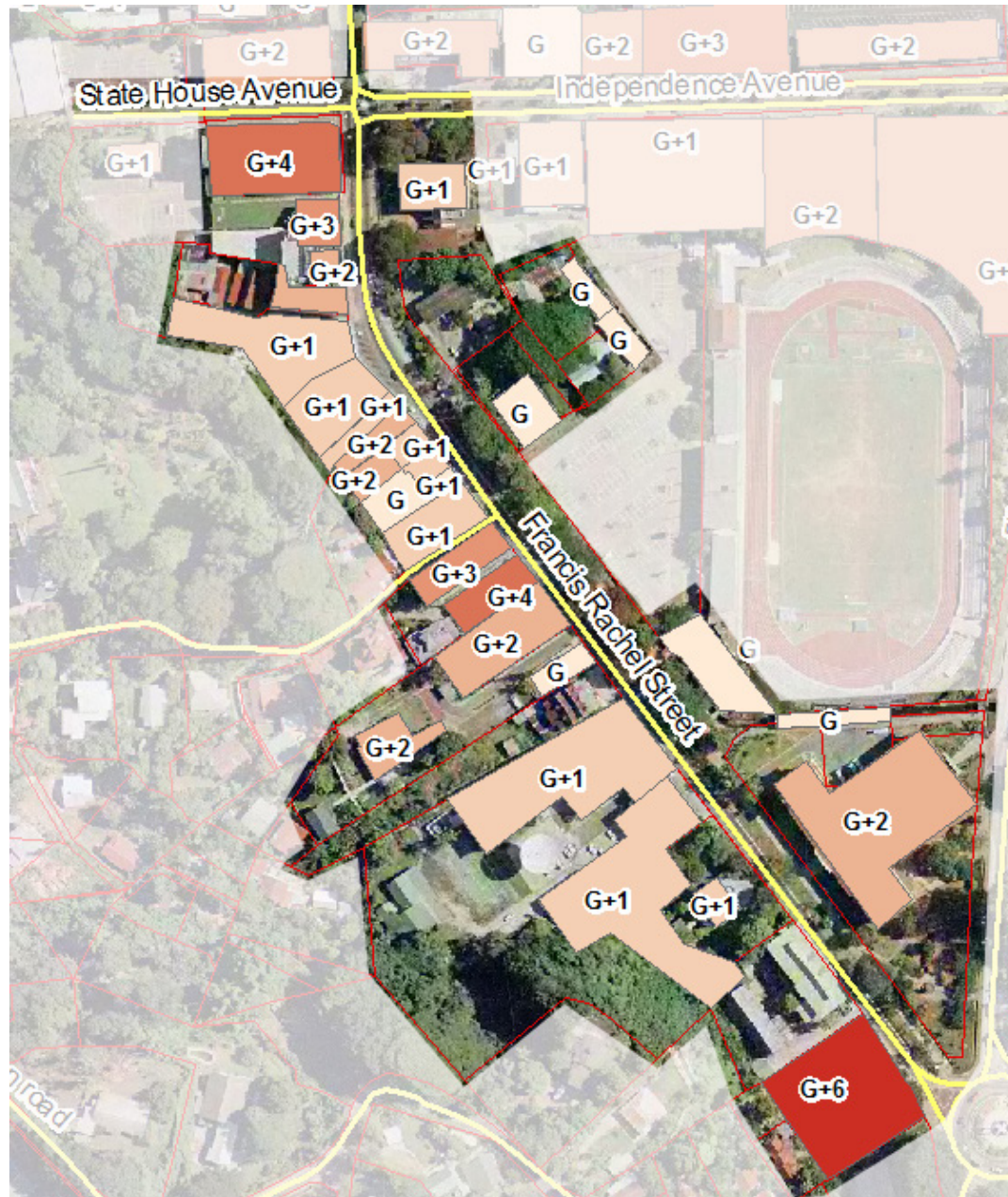
## 2.7 BUILDING HEIGHT

The maximum building height along Francis Rachel Street is ground plus three (G+3), however the proposed Nouvanbanq and Laxcon building are soon to be the tallest building along this strip. Despite of this, the dominant height is ground plus one (G+1) of which accounts for 30% of the total building height followed by ground floor buildings only which is 29%. The Citimart partially located on Francis Rachel Street and Le Chantier street is of G+6 (refer to Map 2)

**BUILDING HEIGHT - FRANCIS RACHEL STREET**



- G
- G+1
- G+2
- G+3
- G+4

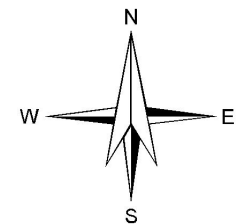


**MAP 2**

**EXISTING BUILDING HEIGHT**

**Legend**

- G
- G+1
- G+2
- G+3
- G+4
- G+5
- G+6
- G+7



### 3.0 URBAN DESIGN GUIDELINES - FRANCIS RACHEL STREET

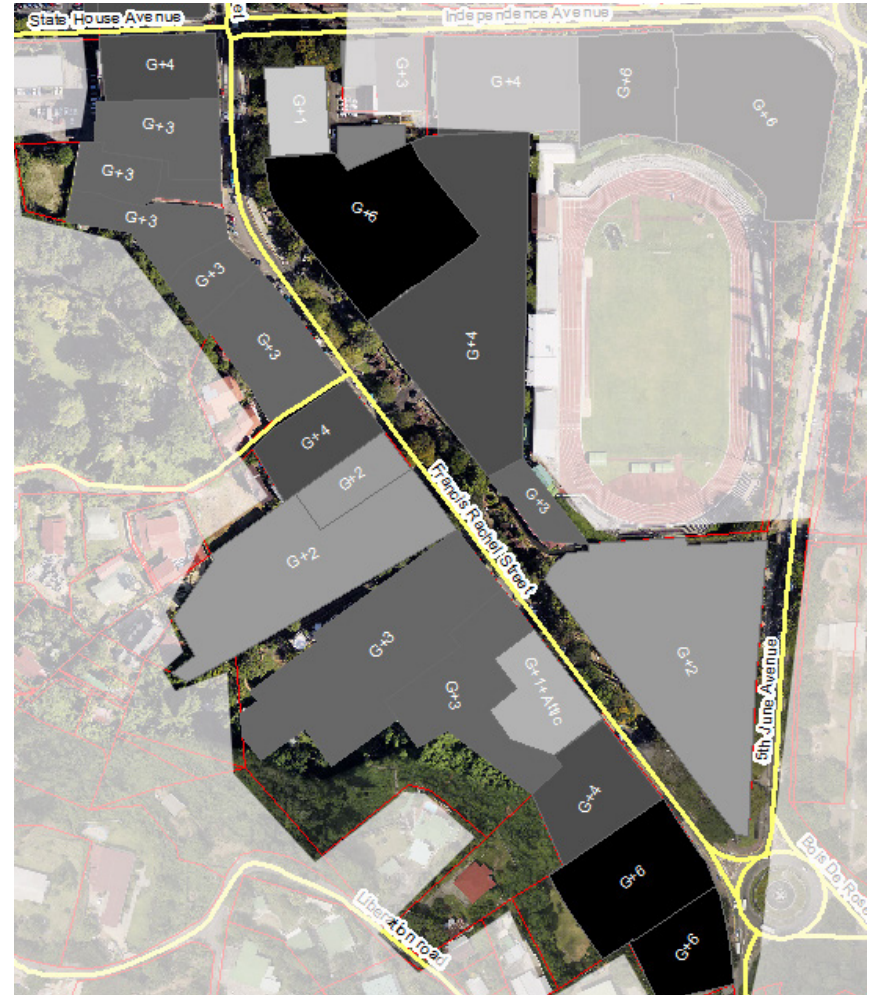
For the purpose of the General Urban Guidelines for Francis Rachel Street the following seven general details are taken into account:

- Building heights
- Facade alignment
- First balcony line
- Architectural style
- Pavements
- Landscaping
- Proposed modifications

### 3.1 BUILDING HEIGHTS

From the Le Chantier to Victoria House it can be observed that three storeys is the maximum height of buildings whilst the average height is two storeys. In order to achieve symmetry it is proposed that the height for future buildings avoids significant contrast between adjacent buildings, thus one storey should be the recommendable difference of height between buildings wherever necessary. It is for this reason and taking into account the proposed height of future buildings on both sides it is recommended that a minimum height of two storeys plus attic (maximum G+3) be achieved for any future buildings on parcel V3694 (for reference to parcel numbers refer to Map 6)

Regarding plot V5338, it is proposed that the height should be a maximum of four storey building similar to the existing Allied Agency Building (V5339). The proposed height would allow for the creation of a three storey plus attic zone, which is the same as four storeys. This will, in addition, harmonise the buildings in this zone. Map 3 shows the maximum proposed building heights on Francis Rachel Street.

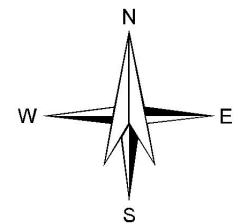


PROPOSED BUILDING HEIGHT

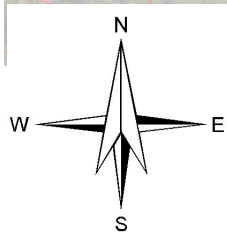
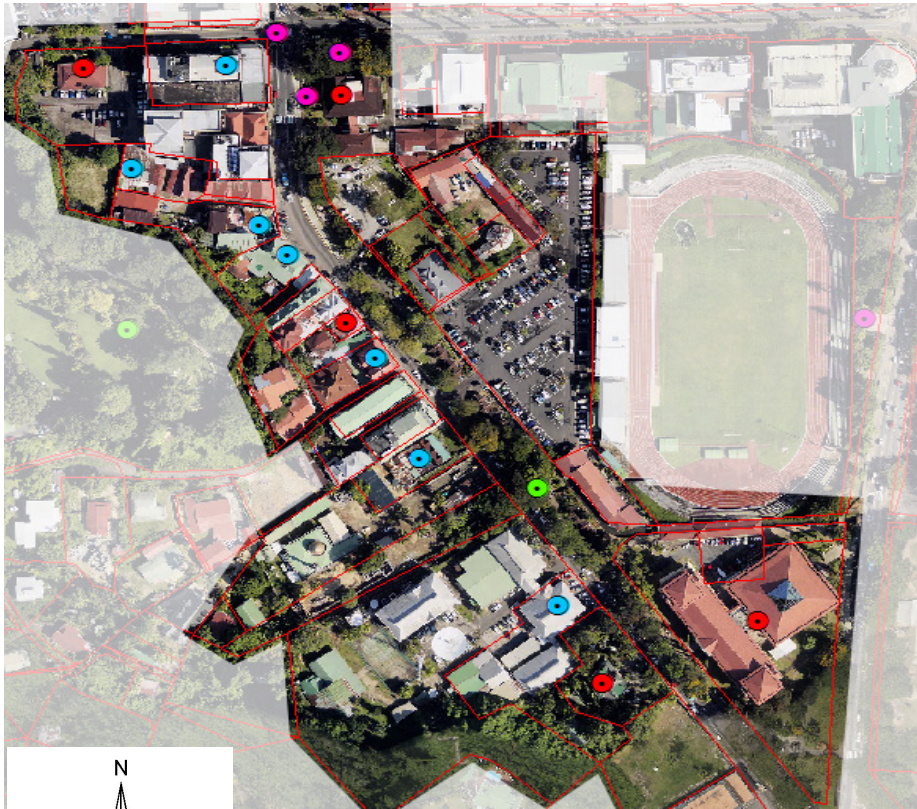
MAP 3

#### Legend

- G
- G+1
- G+2
- G+3
- G+4
- G+5
- G+6







MAP 4 & 5



**EXISTING HERITAGE BUILDING HEIGHTS**

**Legend**

- G
- G+1
- G+2
- G+3
- G+4

**Legend**

- Declared Heritage Building
- Declared Heritage Structure
- Declared Heritage Sites
- Potential Heritage Building
- Potential Heritage Structure
- Potential Heritage Sites

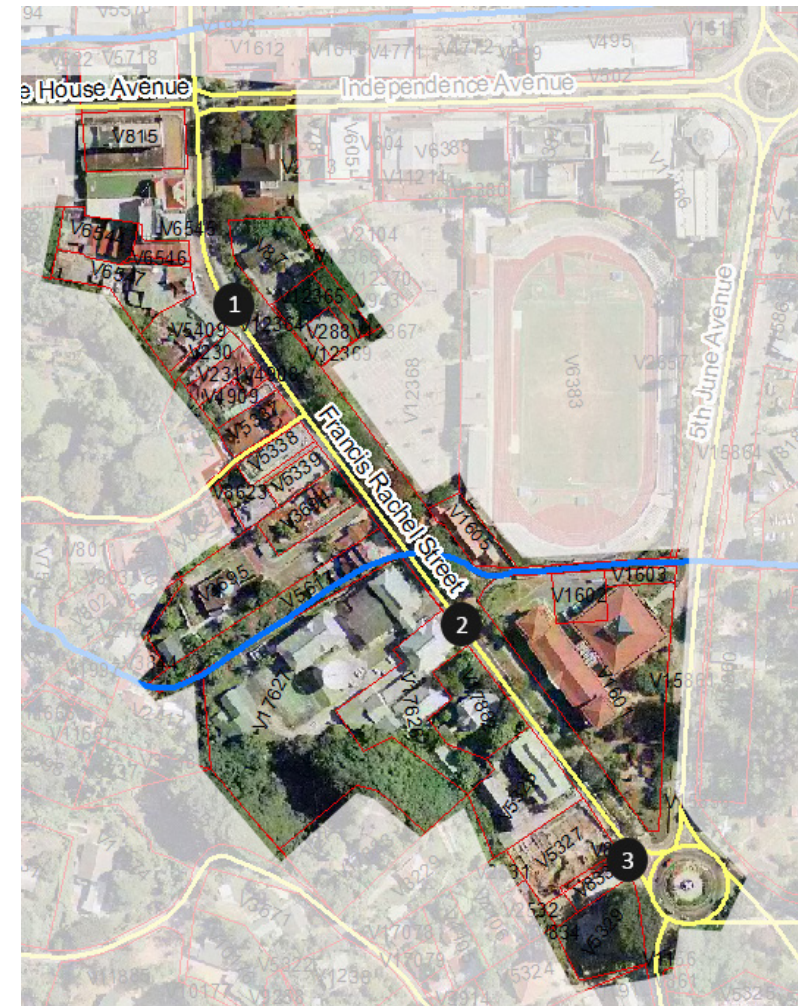
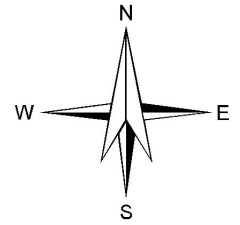
The identified potential heritage buildings along Francis Rachel Street are also taken into consideration for the proposed building heights. However in the future, if buildings of heritage potential are not yet to be declared/ heritage listed, the maximum proposed height for such buildings should be considered (refer to Map 3, 4 & 5).

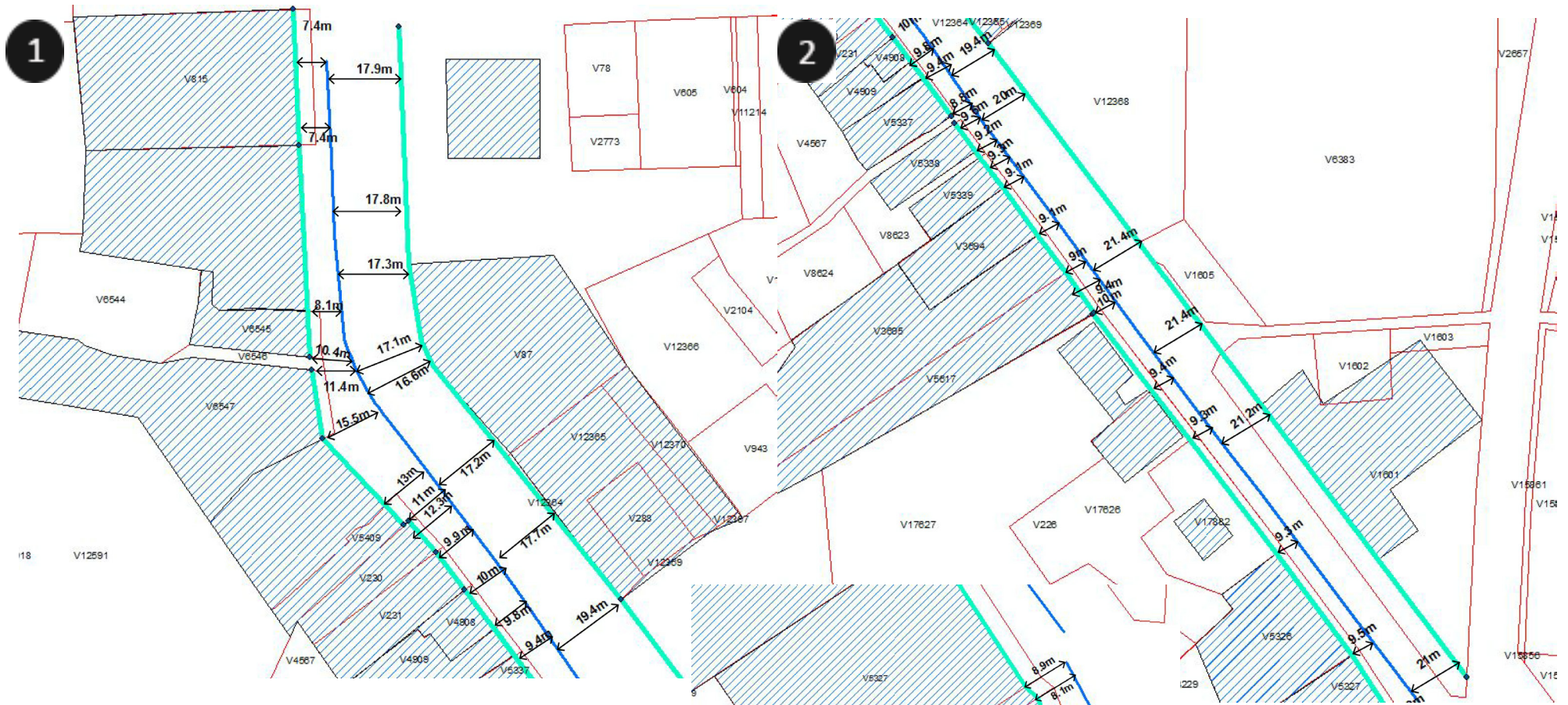
BUILDING/OWNER	PARCEL NO.	BUILDING/OWNER	PARCEL NO.
Supreme Court Building	V5960	Adam Moosa Family	Building between V6547 & V5409
Victoria House	V815	Danjeer Family	V6544
Dhanjee	V6547	SUP/SPPF Museum	V231
Chaka Brothers	V5337	Kenwyn House	V17882
Tim Samy (Adam Moosa Family)	V3695	Pierre Poivre Bust	V5960
Old Government Secretariat	East of V815	Victoria Clock Tower	Junction of Independence Av, Albert St & State House Av.
Diamond Jubilee Fountain	V5960	National Library	V1601
Fienes Promenade	Pedestrian Promenade along Francis Rachel Street		

### 3.2 FACADE ALIGNMENT (BUILDING SETBACK)

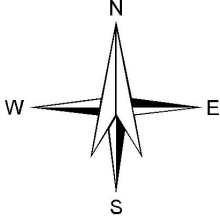
Table 3 shows the required minimum building setback from edge of the road (Francis Rachel Street) for future construction on the following parcels:

FRANCIS RACHEL STREET	PARCEL NO.	SETBACK FROM BOUNDARY LINE
Victoria House & Oliaji Trade Centre	V815	4m
Sound & Vision House	V6545	4m
Dhanjee	V6547	3m
Adam Moosa Trade House	V5328	3m
Three Musketeers PTY	V5409	3m
Ebrahim Building	V230	2m
Suleman Maison	V231	2m
SPUP - SPPF Museum	V4908	2m
Umarji & Sons (PTY) LTD	V4909	2m
Chaka Bros	V5337	2m
Allied Agency	V5338	3m
Aliled Agencies	V5339	3m
Umarji & Sons (PTY) LTD	V3694	3m
Sinnasamy Shop & Islamic Society	V3695	3m
Islamic Society	V5617	3m
Cable & Wireless	V17627	3.5m
Cable & Wireless	V17626	3.5m
Kenwyn House	V17882	3.5m
Le Chantier Property	V5326	3.5m
Citimart - Republic of Seychelles	V5327/V833	3.5m
National Library	V1601	20m
Carrefour Des Arts	V1602/V1603	20m
National Art Council	V1605	20m
Nouvobanq Development	V87	12m
Laxcon Holdings PTY LTD	V12365/V288/V12370	20m
Court House (The Judiciary)	V12364	12m





MAP 6 - BUILDING ALIGNMENT



**Legend**

- Proposed Building Setback (Facade Alignment)
- Building
- Centre Line Road

3

### 3.3 FIRST BALCONY LINE

For aesthetical and architectural consideration the first balcony line is a very important feature. It relates the heights of more than one-storey buildings located on the same facade alignment, and at the same time provides them with the proper human scale, that is the proper relationship between the first balcony height and the height of pedestrians.

Along Francis Rachel Street there are various first balcony heights. The approach taken to solve this problem is the local context, that is, taking into account the existing buildings in the vicinity of the proposed ones.

In the case of parcel V3694, it is proposed to retain the same balcony height as the proposed Islamic Society Building in order to achieve the continuity of the first balcony from Mercury House to plot V3694. The difference of balcony height between plots V3694 and V5339 (Allied Agency) can be solved as the two buildings will be built on a different facade alignment. The former building (Urmariji & Sons) must be built recessed from the first plane of facade, showing Creole style features and the landscape strip in the front must be maintained. Whilst the proposed Allied Agency Building (plot V5338) should maintain the same balcony line of the existing one.

For the future buildings to be constructed on plots V4909 (Urmariji & Sons) and V6547 (Dhanjee) balconies must retain the same height as the existing balconies from Chaka Bros. to Adam Moosa and Trade House respectively.

A good example of a bad solution is the Ibrahim Building, where the first balcony is too high and remains between the first and second balcony lines. The pictures below indicate the comparison between the old and new buildings on this plot.

### 3.4 ARCHITECTURAL STYLE

It is the intention here to refer only to the possible future buildings. Firstly reference is made to parcel V3694 (Urmariji & Sons house) it is proposed that a Creole style building is constructed in order to achieve the continuity of this style from Le Chantier Building to the aforementioned parcel.

Secondly parcel V5339 (Allied Agency) which is centrally located along the street is also a point of change of architectural style. It is recommended that a four storey building is constructed, which should be modern, in order to achieve the equilibrium with the existing Allied Agency Building on the adjacent parcel.

Thirdly parcel V4909 (Urmariji & Sons shop), it is recommended that a two storey Creole style building is constructed, which would achieve the retention of another sector of buildings showing Creole style features from Chaka Bros. Building to the new Suleman Building.

Finally, as a future building on parcel V4547 (Dhanjee) it is proposed that the construction of a two storey plus attic building in modern Creole style be constructed. This would enhance the transition from the Creole style features of preceding buildings to the modern buildings on the following parcels: Sound & Vision, Olialji and Victoria House.

### 3.5 PAVEMENTS

The walkway on the eastern side of Francis Rachel Street, which forms part of the promenade is well established and maintained yet it is the least used. Pedestrians, however, frequently use the western side of the street for the following reasons:

1. It is a continuation of the main sidewalk from Mont Fleuri,
- 2 The existence of many commercial services and offices and the importance of the street.

However it is uncomfortable for the following reasons:

Firstly the space available to walk is on the same level as the road; built and rendered in the same material as the road. This results in no difference between the two functions, both physically and materially.

Secondly in most areas where the pavement does exist, it has either deteriorated or has been built without any concept of design due to the various levels of pavements resulting in an "obstacle course" effect. Figure 3 shows the condition of the pavements and existing pedestrian obstacles.



FIGURE 3 - CONDITION OF PAVEMENTS AND PEDESTRIAN OBSTACLES ON FRANCIS RACHEL STREET

Taking into consideration the amount of pedestrians walking on this side of the street, it is therefore proposed construction of a proper sidewalk considering the following:

- (i) Drainage solutions and the rehabilitation of the existing one.
- (ii) Construction of the sidewalk such that it does not affect the number of existing parking bays along the street and it should be distinguished from the road and carpark
- (iii) Sidewalk should provide accessibility for the disabled and elderly, thus should take into account of the following:

- (a) In areas with moderate to high pedestrian traffic, sidewalks should have a minimum width of 2 metres in order to allow two wheelchairs or crowd of pedestrian to pass each other comfortably (refer to Figure 4)

- (b) In areas of low pedestrian traffic, sidewalks should have a minimum width of 1.5 metres in order to allow a wheelchair user and a walker to pass each other comfortably

- (c) Kerb ramps should be provided in footways cross roads, pavements, medians, or other raised surfaces. The minimum width of kerb ramps should be 1.2 metres, in order to provide sufficient turning space for wheelchair users or prams. The maximum slope of the slope of the flares at the kerb ramps should be 10% ; measured at the face of the kerb. However kerb ramps with a minimum width of 2.4 metres should be allowed at crossings.

- (iv) In order to achieve the spatial continuity of the sidewalk it would be necessary to negotiate with the owners of parcels V5617, V3694 and V3695 to provide a 0.70-meter wide strip of public space in front of these parcels for the construction of the sidewalk. The proposed building setback of 0.70 meter is included in the proposed 2 metre building setback for facade alignment (see section 3.2 of Francis Rachel Street Guideline). In the case of plots V5617 and V3695 this process would be easier because the project for the future Islamic Society building has been designed with a landscape area in front without any fence on the perimeter of the property and a setback of 4 m.

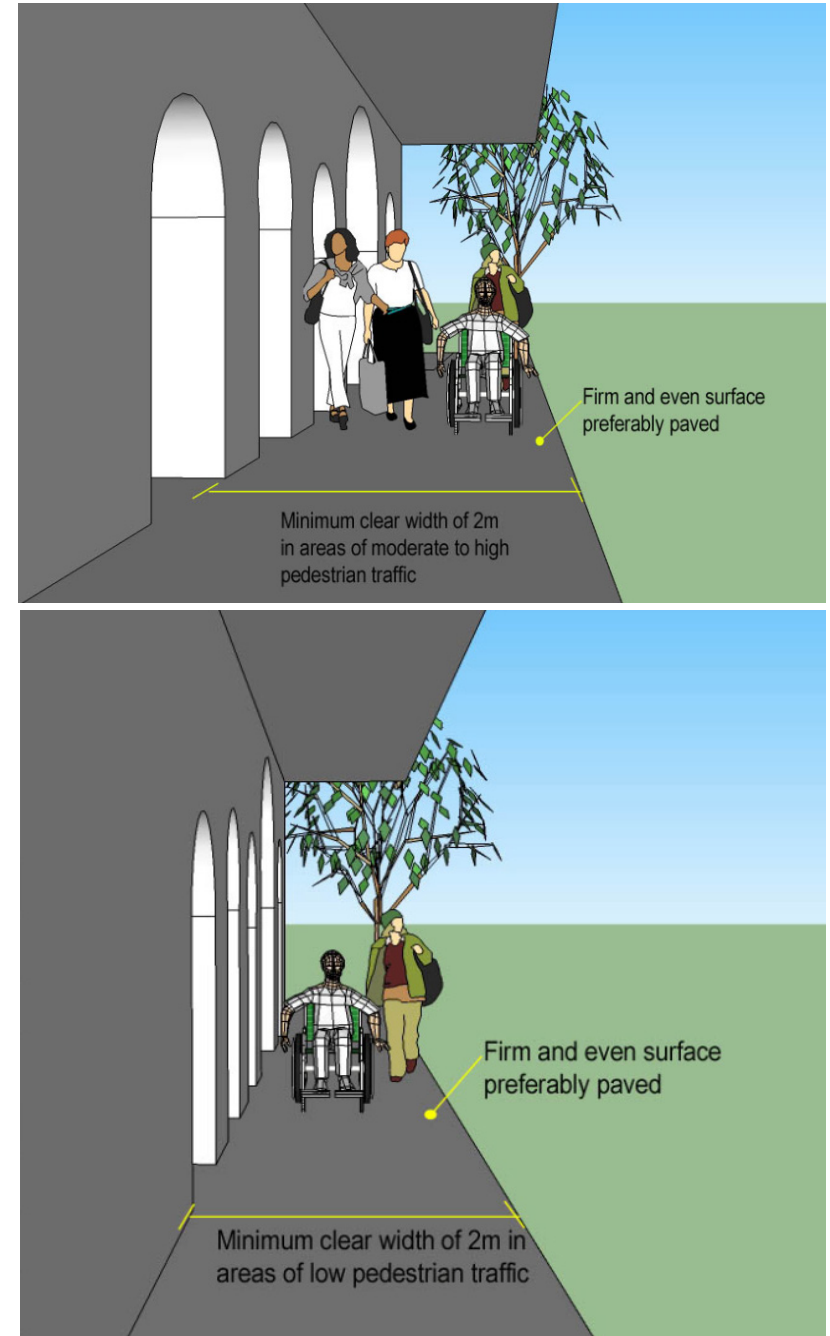


FIGURE 4 - SIDEWALKS WITH HIGH AND LOW PEDESTRIAN TRAFFIC


Pavements and sidewalks on the eastern side of Francis Rachel Street are well established. The eastern sidewalk of Francis Rachel Street forms as one of the most appreciated pedestrian promenade within Victoria for the following reason:

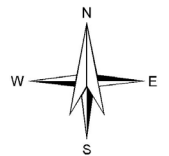
1. Large width of sidewalk (accomodate high pedestrian traffic)
2. Well surfaced (smooth surface to facilitate mobility for the disabeld/ elderly and people with prams)
3. Provision of street vegetation (creating buffer between pedestrian and automobile - thus achieving sense of safety. On the otherhand creating aesthetic view of the promenade/boulevard)
4. Land Use along the promenade - Souvenir Kiosks creates tourisic attractions
5. Provision of benches - enhance street amenities

Taking these into consideration, it is proposed that the eastern sidewalk of Francis Rachel Street be kept as a pedestrian promenade. Hence the building setback proposed along this strip is to provide for the continuity of pedestrian promenade with the provision of street amenities such as street trees, smooth surface sidewalks and benches to create similar scenic view and sense of place as the existing promenade.



### Legend

 Pedestrian Promenade



### 3.6 LANDSCAPING

For the purpose of achieving continuity of the landscaped strip from the parcel V5327 belonging the Republic of Seychelles (currently occupied by CITIMART) to parcel V3694 (Urmarji and Sons House) it is recommended that a landscaped area be emphasized in front of the future proposed buildings (refer to Figure 4 (i)).

The provision of street trees usually improves the aesthetic appearance of the streetscape and serve as a visual and auditory buffer between pedestrians and traffic. In terms of pedestrian comfort and safety street trees provide shades and may have a traffic calming effect. However, trees may also cause changes in levels or cracks in sidewalks/roads which in turn may cause difficulty for people with mobility impairments. Planting of trees along sidewalks/roads, should consider the following provisions:

- i) It is preferable to plant trees with tap roots as this will prevent cracks/damage to sidewalks or roads
- ii) Trees should be planted with grates in order to allow sufficient amount of water to reach the tree roots (refer to Figure 4 (ii))

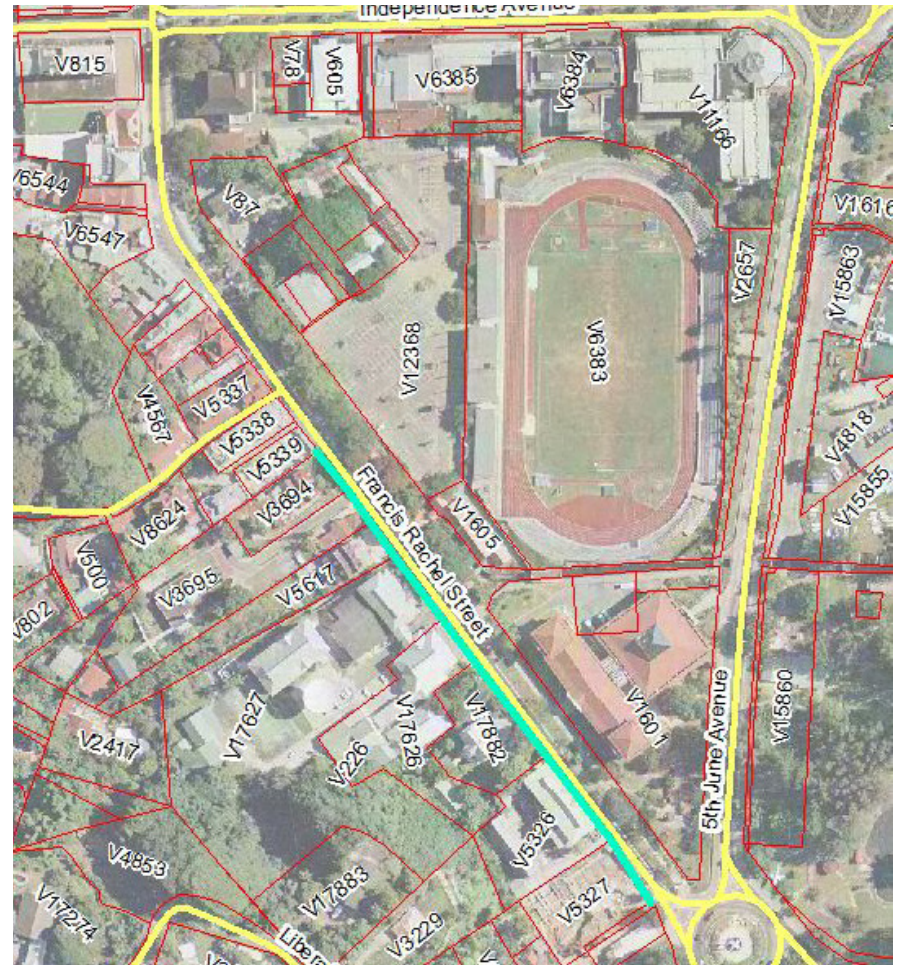


FIGURE 4 i - PROPOSED STRIP OF LANDSCAPE IN FRONT OF BUILDINGS

#### Legend

— Landscape

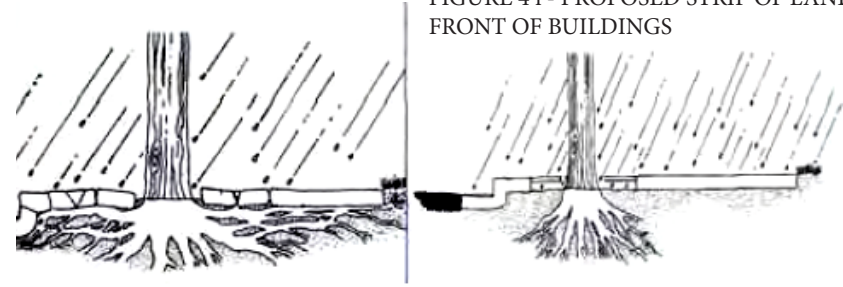
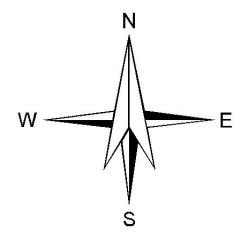


FIGURE 4 ii - Trees planted with grates are less likely to cause sidewalk cracks than trees planted without grates - Grates allows a sufficient amount of water to reach the tree roots.



### 3.7 PROPOSED MODIFICATIONS

It is proposed that modifications be undertaken to some buildings that are to be retained due to their good structural conditions. Taking into account that these are all private buildings and the owners would be the investors, the modification therefore are of light changes.

Firstly the Allied Agency Building on parcel V5338, does not have any architectural value even if it is in reasonable condition. It is for this reason, it is proposed that some modifications be made to the frontal elevation so as to improve its features.

In view that the proprietors wish to build a new building on plot V5339, it is recommended that they are advised/requested to undertake renovations/modifications of the façade of the existing building as a pre-condition for approval. The scope of renovations should be undertaken with a view of improving the appearance of the existing building to the same standard of the future building on the adjacent parcel. Finishing of balustrades, pillars, windows, etc, should be in harmony with the local context of the street.

Finally Chaka Bros. Building is a perfect example of a Creole style construction (architecture) which has to date maintained its Creole features. It is for this reason, it is proposed to retain its typical Creole roof style (as indicated in Appendix A III) irrespective of the owners plans in which they have indicated that should they renovate the building they wish to modify the roof with a gentle slope.



Allied Agency V5339 - Existing building facade does not harmonise with adjacent buildings of creole architecture.



Allied Agencies V5339 - In need to improve the building elevation to improve its features  
 Chaka Bros V5337 - Building architecture needs to be retained as it depicts Creole architectural features



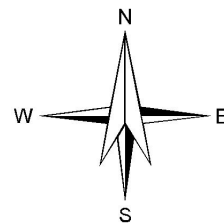
# MARKET STREET

# 1.0 MARKET STREET

This is the second in the series of urban design guidelines for the CBD of Victoria representing the urban design guidelines for Market Street. It should be read as a continuum and cross-referenced with that of Francis Rachel Street especially with regards to the Terms of Reference, Justification, Methodology and urban design checklist.

Market Street is located in what was the heart of the CBD now generally regarded as the old town. Its arterial road abuts onto Albert Street to the East and Quincy Street to the west. With secondary streets (Benezet Street) leading to Revolution Avenue to the south and Church Street to Olivier Maradan Street to the north. In view of the Victoria Market it is a tourist attraction and one of the landmarks in the CBD (Map 7 shows the locational context of the street).

MAP 7



## 2.0 SURVEY ANALYSIS

### 2.1 ARCHITECTURAL STYLE

The buildings along Market Street have been classified into three main types of architectural styles. During the past few years there has been major developments along Market Street where most of the buildings have been pulled down and replaced by new ones. The result of such changes towards modernisation has led to considerable alteration in the architectural style of the buildings of this street. The present architectural styles of the buildings are shown on Table 4.

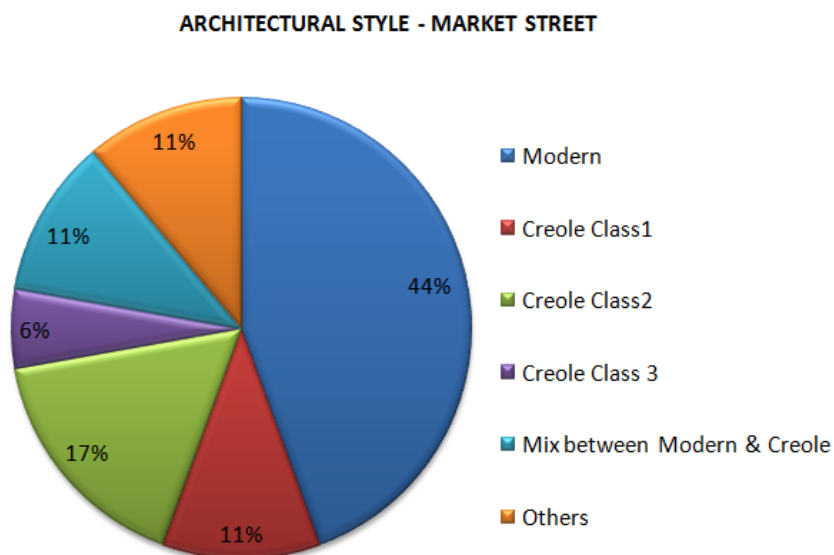


TABLE 4 - MARKET STREET - ARCHITECTURAL STYLE 2012		
	PARCEL NO.	ARCHITECTURAL STYLE
Naidu	V5530	Mix between Modern & Creole
Kot baba	V5374	Modern
Republic of Seychelles (Market)	V3703	Others
Sir Selwyn Selwyn Clerk Market	V5529	Creole class 2
Milicent Confait & Sunstroke	V7910 / V7911	Creole class 2
Meghjee	V5366	Modern
Srinivas Complex	V5495	Modern
Kantilal Jivan (Lakshminivas)	V3556	Creole class 1
Pranlal Jivan	V3555	Others
OJ Market Mall	V5553	Modern
Leong Thiong	V5578	Mix between Modern & Creole
Kim Koon	V5365	Creole Class 2
Deeva's Arcade	V5501	Modern
Subramaniyan Pillay (Sakihi Arcade)	V5363	Modern
Sangarganesh Pillay	V5579	Modern
Shanmougasun Pillay	V5364	Modern
Gro Samy	V5362	Creole Class I

### **2.1.1 CREOLE STYLE**

The Creole style architecture makes up only 34% of the total architectural style and consists mainly of the old buildings that have been built over 50 years ago such as “Lakshminivas (Kantilal Jivan), Gro Samy and “Sunstroke”. The conditions of such buildings are either good or fair. The Victoria Market falls in this category and it also has Chinese architecture influence. The other buildings such as “Gro Samy” and the “Milicent Con-fait & Sunstroke” building are also in need of maintenance to improve on safety and aesthetics.

### **2.1.2 MODERN STYLE**

As for Modern style suggests most of the buildings have been built recently, and account for 44% of the total architectural style. Examples of this style are the, ”K R Pillay” building., Sakihi Arcade, Deevas Arcade and the new OJ Market Mall.

### **2.1.3 MIXTURE OF CREOLE AND MODERN ARCHITECTURE**

The third style being a mixture of Creole and modern style accounts for 11% of the total architectural style. Although these buildings are categorised as such, it is the modern style that stands out the most. This style indicates an attempt in trying to retain some of the Creole features while at the same time expanding towards modernisation (eclecticism).

### **2.1.4 OTHERS**

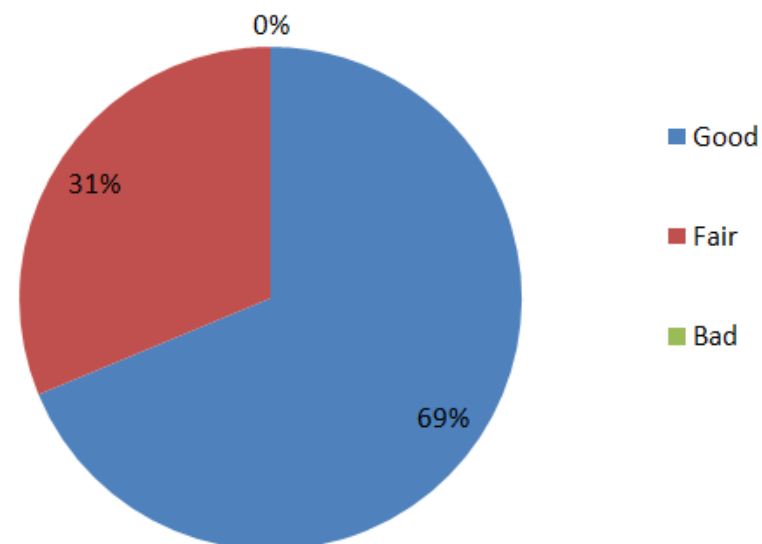
The buildings on parcel V3703 and V3555 has been classified as others, which account for 11% of the total as they have a mixed bag of architectural styles mentioned above. This is more severe in the latter two buildings, which suggest an extreme eclecticism.

## 2.2 CONDITION OF BUILDINGS

The conditions of the buildings vary as shown on Table 5: 69% of the buildings are in good condition, 31% are in a fair condition.

TABLE 5 - MARKET STREET - CONDITION OF BUILDINGS 2012		
	PARCEL NO.	CONDITION OF BUILDINGS
Naidu	V5530	Fair
Kot baba	V5374	Fair
Republic of Seychelles (Market)	V3703	Good
Sir Selwyn Selwyn Clerk Market	V5529	Good
Milicent Confait	V7910	Fair
Sunstroke	V7911	Good
Meghjee	V5366	Good
Srinivas Complex	V5495	Fair
Kantilal Jivan (Lakshminivas)	V3556	Good
Pranlal Jivan	V3555	Fair
OJ Market Mall	V5553	Good
Leong Thiong	V5578	Good
Kim Koon	V5365	Good
Deeva's Arcade	V5501	Good
Subramaniyan Pillay (Sakihi Arcade)	V5363	Fair
Sangarganesh Pillay	V5579	Good
Shanmougasun Pillay	V5364	Good
Gro Samy	V5362	Fair

CONDITION OF BUILDING - MARKET STREET



## 2.3 ACTIVITIES

On working days and Saturday mornings Market Street is an area of Victoria, which is frequented by a large concentration of the local population and visitors alike. This street attracts various commercial activities and it is therefore an important development area of the town. It is well known as a business area but relatively few people live along this street. It is for this reason after working hours the area is inanimate.

### 2.3.1 COMMERCIAL

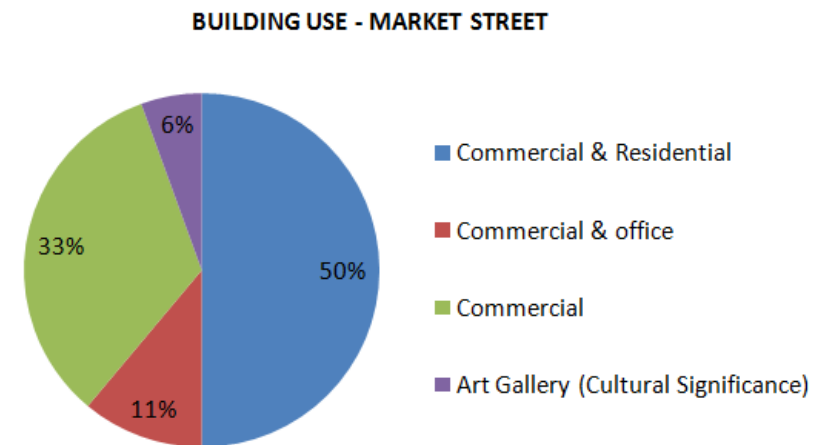
Commercial is the predominant activity taking place in all the buildings along Market Street, however some buildings accommodate for both commercial and residential (50%) or commercial and office (5%), whereas buildings of commercial use only account for 39% of the area. The predominant categories are specialist and general merchant shops whilst the Victoria Market caters for fresh foods (vegetables, meat and fish) and souvenirs/craft items which enhance its reputation as a shopping area. The owners of the buildings do not only lease their premises they also participate in this activity because 71% of them own shops in this area.

### 2.3.2 OFFICES

This activity is relatively low along Market Street with 11% , of which 2 buildings out of 14 are being used for such activity. Based on the 2001 building activities survey, the Srinivas Complex had the highest number of offices of which Interlotto took up a substantial proportion of floor space. Despite of this, the building's first floor at present caters for only 2 office of which are used by the building owner and a substantial proportion of floor space is used for storage and the rest are underutilised.

### 2.3.3 RESIDENTIAL

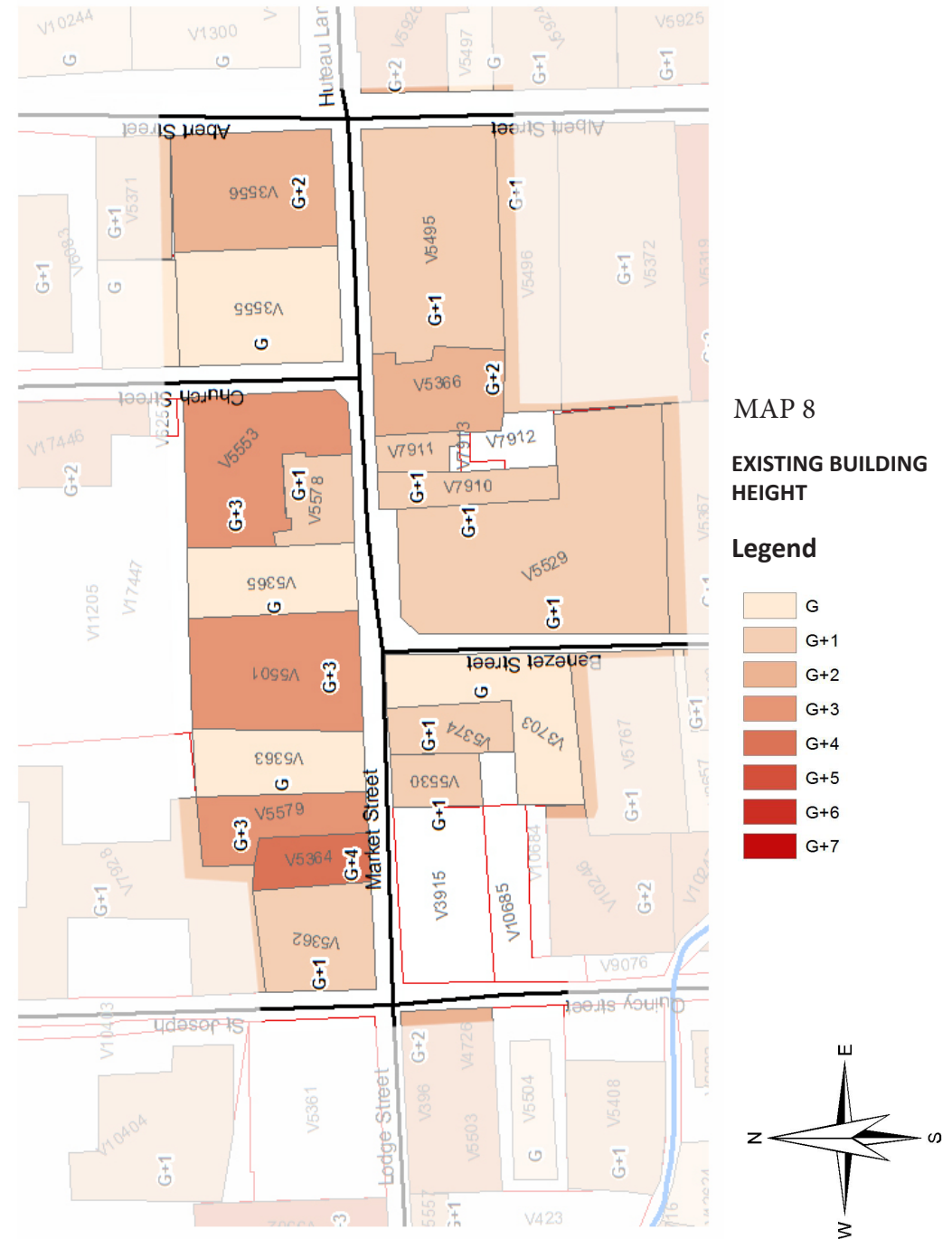
The dwellings along Market Street are located in the upper storeys whilst the ground floor of these buildings is the location for the commercial activities. In most cases the owners themselves and/or their relatives occupy these dwellings. At present Market Street is not very popular as a residential area as only 8 of the buildings are used for this purpose. It is proposed to increase the presence of this activity in the area, which will contribute to achieve a balance of animation between peak and off peak hours. The OJ Market Mall presently is a move towards this direction in that will become available upon the completion of the building.



## 2.4 BUILDING HEIGHT

Building heights along Market Street are dominated with 44% of buildings with one storey, followed by 22% of buildings with ground floor (refer to Table 6 and Map 8). Since this part of the town was once considered as the heart of the CBD, it is with no surprise that building heights are kept lower as ground two plus attic primarily due to the influence of creole architectural style of buildings as a means to maintain a traditional streetscape throughout the years.

This has resulted in Market Street being one of the most cultural valuable streets within Victoria. However with uncontrollable developments in the past, modern developments of alienated architecture have been allowed on this street. Such development includes the modernised K.R Pillay building, one of the highest building on Market Street with height of ground plus four. As there is an increasing pressure for development, such part of the old town should be treated as delicate precincts, where building heights other than architectural should be considered as this will also have adverse effects on the traditional streetscape.





<b>TABLE 6 - MARKET STREET - BUILDING HEIGHT 2012</b>		
	<b>PARCEL NO.</b>	<b>BUILDING HEIGHT</b>
Naidu	V5530	G+1
Kot baba	V5374	G+1
Republic of Seychelles (Market)	V3703	G
Sir Selwyn Selwyn Clerk Market	V5529	G+1
Milicient Confait	V7910	G+Attic
Sunstroke	V7911	G+Attic
Meghjee	V5366	G+2
Srinivas Complex	V5495	G+1
Kantilal Jivan (Lakshminivas)	V3556	G+1+ Attic
Pranlal Jivan	V3555	G
OJ Market Mall	V5553	G+3
Leong Thiong	V5578	G+1
Kim Koon	V5365	G+1
Deeva's Arcade	V5501	G+3
Subramaniyan Pillay (Sakihi Arcade)	V5363	G
Sangarganesh Pillay	V5579	G+3
Shanmougasun Pillay	V5364	G+4
Gro Samy	V5362	G+1

## 2.5 LOCATIONAL CONSIDERATION

Market Street has been described by 82% of both owners and the tenants, as a good venue for business. At present the major shopping outlets which are quite popular with the locals are located on the ground floor and therefore there is easy access to the shops. Of those surveyed 67 % of the tenants have complained that renting rates are high. Some have also pointed out the fact that certain owners are not taking proper care of their buildings and for any maintenance that is required, they have to deal with it themselves.

## 2.6 INFRASTRUCTURAL PROBLEMS

Although Market Street has its own parking area, which is a pay-parking zone, there still exist deficiency in parking space. 56% of the tenants have complained that the lack of parking space is a major problem for them since they sometimes have to wait for a long period of time before finding a vacant space.

The temporary stalls in the middle section of Market Street are also a problem as it makes the area untidy and crowded. There has also been a complaint that there is a lack of public dustbins and toilettes in the vicinity and these results in air and visual pollution, which contributes to the detriment of town's image.

The analysis shows that Market Street has expanded rapidly in recent years resulting in a substantial loss of the Creole style architecture. The other Creole style buildings that remain will also result in physical decay if not properly and constantly maintained, and will allow for new constructions that will detract from the image of the street. In order to keep what little remains of the Creole architecture; the owners of the buildings should be encouraged to renovate their buildings as often as required and be given incentives to do so.

## 2.7 SURVEY FINDINGS

The other styles are more recent and their conditions are therefore better than the buildings of Creole architecture. As in the case of OJ Market Mall, Sakihi Arcade, Srinivas Complex, Deeva's Arcade and "K R Pillay" building, they provide the highest number of spaces for the various activities.

They also provide better display areas for the shops unlike some of the Creole style buildings as is the case with the Gro Samy building. Display of the products is not possible as there are no showcases and the doors are utilised both as entrance and showcases.

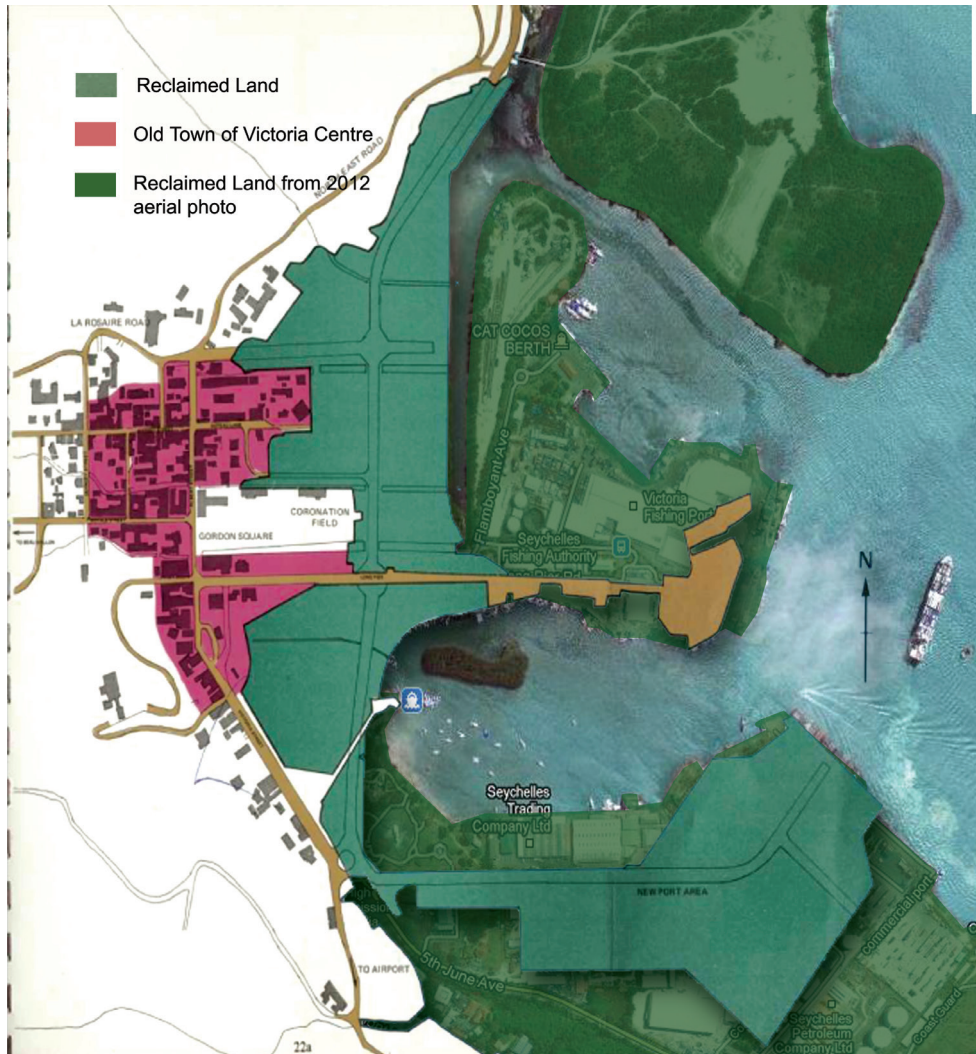
It has also been noted that the activities along Market Street vary and that commercial activity is dominant in the area. The new and future construction will increase the amount of goods and services offered to the public, as more space will be made available for offices and commercial outlets. The services would probably be of a more specialised nature and would also create more jobs for the locals. At present a considerable number of people are employed in the various shops. The other office activities are directly associated with the respective commercial activity. This trend is likely to continue in the foreseeable future as the offices and residential apartments are located in relatively inferior positions off the main road because they are not dependent on frontal display. In general of the existing buildings 67% of the tenants have complained that rent rates are high. This is expected to be higher for the new and future buildings as rents in modern buildings in the CBD are very high.

Personal services such as hairdressing saloons are recessed from the main road and it is currently the only personal service, which is being offered in the area. The Victoria Market, which has acquired a face-lift, will cater for additional employment and variety of services. It will continue to be the pole of attraction to the street being a popular tourist attraction in its own right. This will enhance the aura and image of Victoria as a market town.

Under present conditions, horizontal expansion in Market Street is limited because of a lack of space. Although vertical expansion is possible, it could worsen the problem of loading/unloading and parking facilities. As it will consume valuable space which could have been used for other functions whereas vertical expansion will tend to detract from the image of the street resulting in negative impact to the detriment of the aura and image of the street. It is with the aforementioned socio-analysis and technical considerations that the following urban design guidelines are recommended for Market Street.

### 3.0 URBAN DESIGN GUIDELINES - MARKET STREET

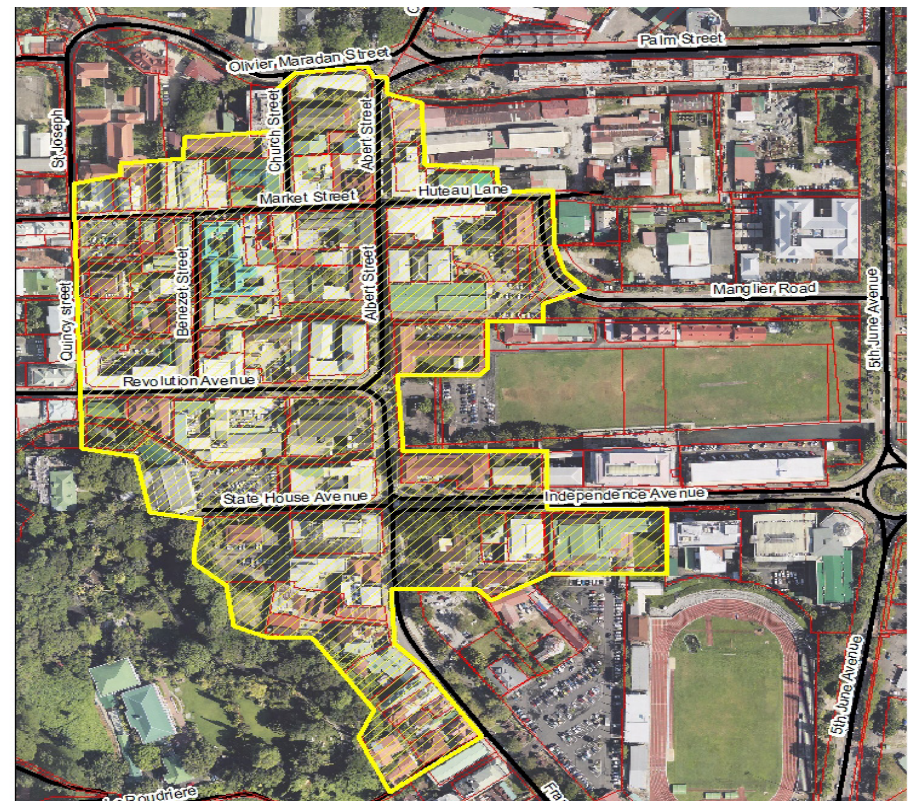
#### THE OLD TOWN & NEW TOWN OF VICTORIA



It is proposed that the area demarkated as the old town centre of Victoria should be conserved, promote or retain the existing creole architectural style of buildings within this area in order to maintain the Seychellois' cultural identity. This includes Market Street, Benezet Street, Church Street, Quincy Street, Huteau Lane, Albert Street, Revolution Avenue and partial area of Francis Rachel Street and Independence Avenue.

Whilst there are significant increase of modern development within the Town of Victoria, there is a need to distinguish the old and the new. Similar to any touristic destination around the world, Victoria must have an iconic precinct where foreigners can identify the historic development of our town from where we started uptill now. Hence the need to have a transition from the old town to the new town.

Within this are, design elements such as archtectural style and buildings heights should be carefully considered.



Boundary of Old Town of Victoria Centre

### 3.0 URBAN DESIGN GUIDELINES - MARKET STREET

For the purpose of the General Urban Guidelines for Market Street the following seven general details are taken into account:

- Building heights
- Facade alignment
- First balcony line
- Architectural style
- Pavements
- Landscaping
- Proposed modifications

#### 3.1 BUILDING HEIGHT

In keeping with the recommendations of encouraging more people to reside in the CBD in the future as has been elaborated in the epigraph regarding residential aspects (and in accordance with the Inner Victoria Land Use Plan), it is proposed that the building heights should be increased wherever possible to a maximum height of three storeys in the area (refer to Map 9 of proposed building heights in the vicinity). However, taking into consideration of Market Street, Benezet Street and Church Street being part of the Old Victoria Centre, it is encouraged that the proposed maximum building height should be of Ground + 2 + Attic (which is the same as G+3) in order to achieve the traditional creole architecture within this vicinity.

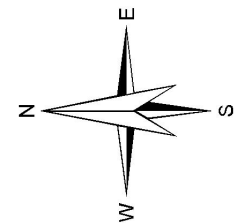


MAP 9

#### PROPOSED BUILDING HEIGHTS

##### Legend

White	G
Light Gray	G+1
Medium Gray	G+2
Dark Gray	G+3
Very Dark Gray	G+4
Black	G+5
Black	G+6



## Legend

- Declared Heritage Building
- Declared Heritage Structure
- Declared Heritage Sites
- Potential Heritage Building
- Potential Heritage Structure
- Potential Heritage Sites

BUILDING/OWNER	PARCEL NO.
Jivan Shah	V3556
Kim koon Family	V5365
Gro Samy	V5362
Sir Selwyn Clerk - Victoria Market	V5529



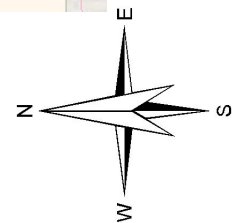
## HERITAGE BUILDING HEIGHTS

### Legend

- G
- G+1
- G+2
- G+3
- G+4

MAP 10 & 11

The identified potential heritage buildings along Market Street are also taken into consideration for the proposed building heights (refer to Map 9, 10 & 11). However in the future if buildings of heritage potential are not yet to be declared/heritage listed, the maximum proposed height for such buildings should be considered.



### 3.1.1 NORTHERN SIDEWALK

There are three buildings of architectural significance that still exist on Market Street; the Lakshminivas (Kantilal Jivan) (one storey plus attic), Kim Koon and Gro Samy building. It is therefore proposed to maintain the height of the existing Lakshminivas building and utilise this building as a bench mark for this side of the street which would achieve the desirable height of three storeys from this building to "Leong Thiong" building.

#### KIM KOON

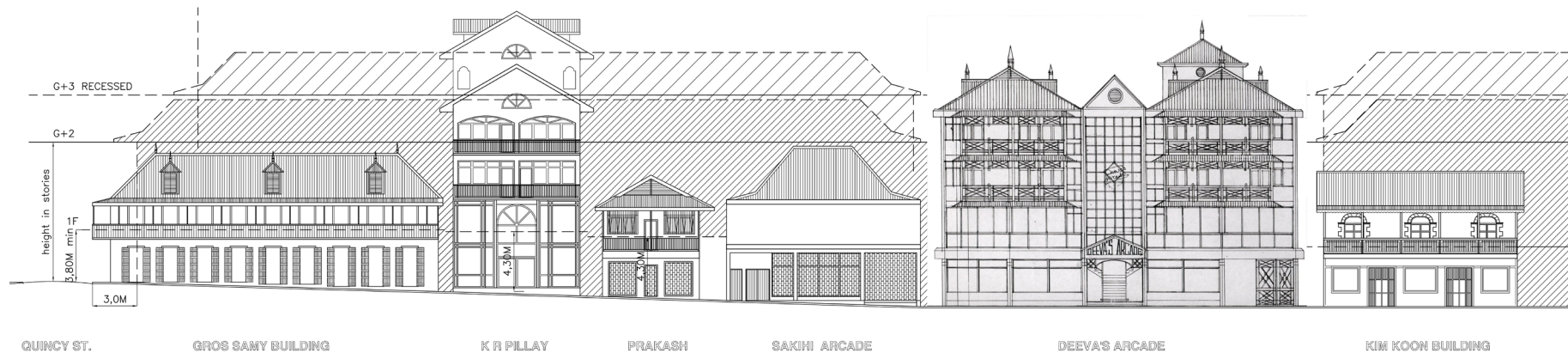
It is proposed with regards to the "Kim Koon" building which is presently in good physical condition that should there be any future development proposal an attic should be provided to harmonise this building with the heights in this part of the street up to Lakshminivas building

#### K.R PILLAY (SHANMOUGASUN PILLAY)

It is unfortunate that the "K R Pillay" building next to Gro Samy was allowed to build up to four storeys and in view of its fourth floor this building is not in harmony with the street. In accordance with these guidelines and taking into consideration that this building will always stick out like a sore thumb, it is proposed that any future development proposal on this property should be conditional to the demolition of the top floor.

#### SAKIHI ARCADE AND PRAKASH BUILDING

The Sakihi Arcade should be finished as a two storey plus attic building. As for the "Prakash" building which does not fit in the street it is proposed that for any future development proposed an attic should be provided as has been proposed for "Kim Koon" building. The proposed extensions will make these buildings harmonise in the street and reduce the differences in height with "K R Pillay" and Deeva's Arcade buildings.



ELEVATION OF THE NORTHERN SIDE WALK

### 3.1.2 SOUTHERN SIDEWALK

With regards to the southern sidewalk, it is proposed to achieve a general maximum height of two storeys all along this part of the street.

#### PARCEL NO. V5366 (MEGHEE)

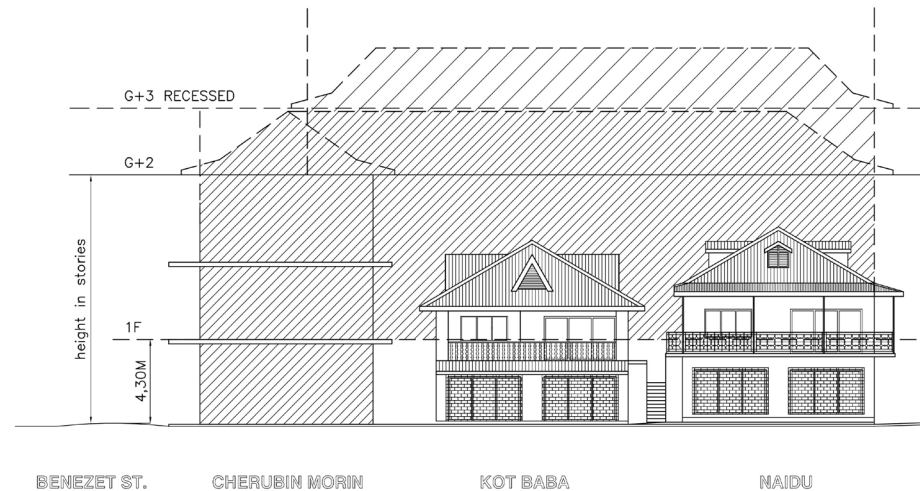
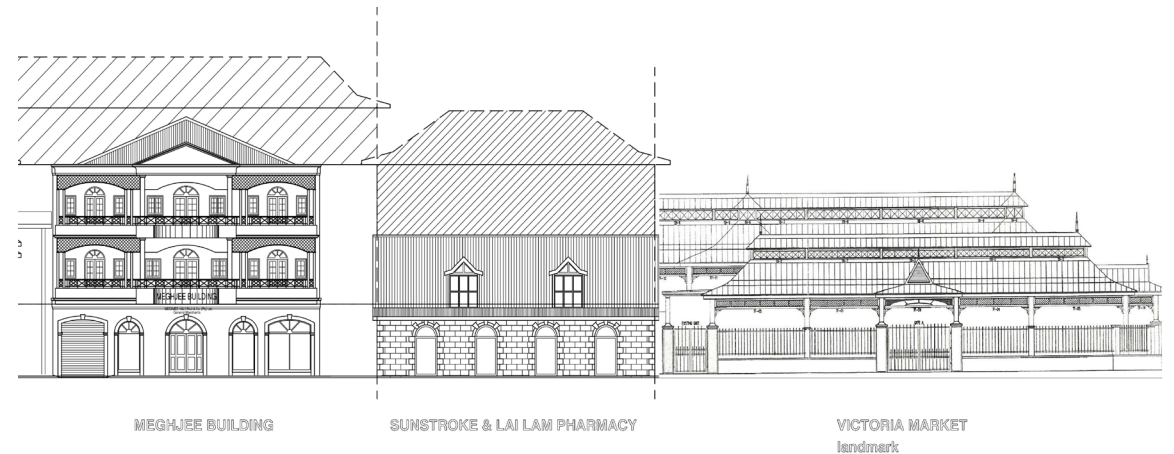
For a future building on the plot owned by Meghjee, a maximum height of two storey plus attic is desirable, whilst a three storey could be considered.

#### PARCEL NO. V7910 and V7911 (SUNSTROKE & MILICIENT CONFAIT)

The "Sunstroke & Milicent Confait " building must be retained but taking into account that in the future it will be the only one storey building in the area, it is proposed that consideration may be made for a possible extension to a first floor plus attic.

#### PARCEL NO. V3703 (REPUBLIC OF SEYCHELLES)

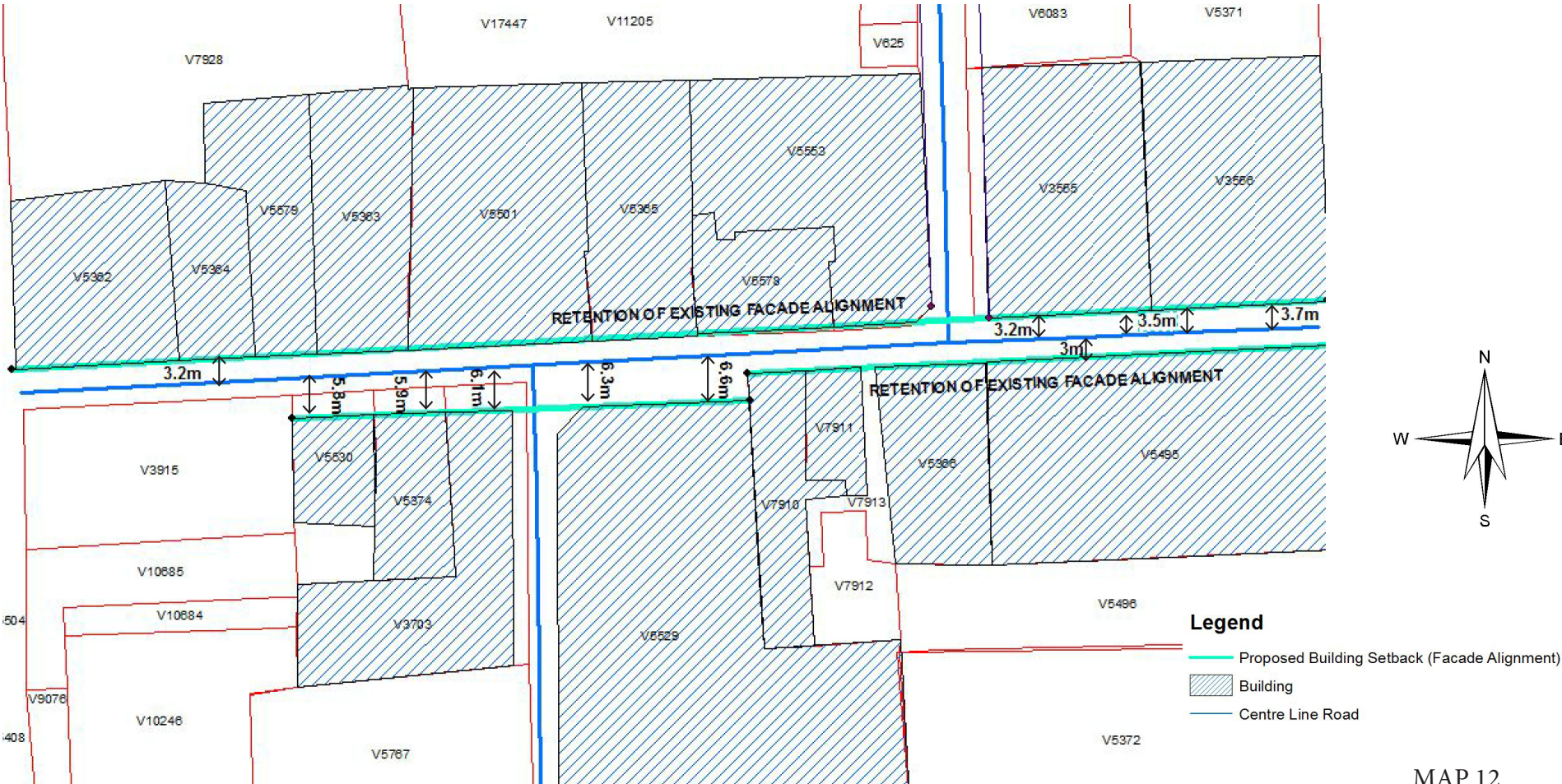
The L-shaped plot owned by the Republic of Seychelles (initially owned by Cherubin Morin) is currently used as an open market with a Butchery fronting Market Street. In the future, this plot of land may be used a a market on ground floor with commercial (retail/restaurants) and residential on above storeys. In order to accomodate the uses, it is proposed that a maximum height of two storeys for the wing facing both Market streets be achieved. For the internal wing of the building that will front onto the Market Street carpark, a possible maximum height of three storeys can be allowed, however should be recessed enough to form the main façade on Benezet Street or main facade facing Quincy Street as shown in the drawing in Appendix B (I-II).



# 3.2 FACADE ALIGNMENT (BUILDING SETBACK)

## 3.2.1 NORTHERN SIDEWALK

At present there are two different façade alignments: one from Albert Street to Church Street junction and another one from Church Street to Quincy Street junction. In order to keep the character of this part of the street any future construction must be aligned according to the façade alignment of its corresponding block (refer to Map 12). Constructions recessed or advanced from the existing alignment must not be allowed.



MAP 12





FIGURE 5 - MARKET STREET VISUAL DAP OF PROPOSED PUBLIC SQUARE

### 3.2.2 SOUTHERN SIDEWALK

Any future construction on the parcel V5495 (Srinivas Complex) and V5366 (Meghee) must be aligned to the existing "Sunstroke & Milicent Confait" (V7910/V911) building so as to avoid different alignments on the same block.

The Victoria Market attracts a large number of pedestrians, both local and visitors alike congregating on the junction of Benezet Street and Market Street making this precinct an important pedestrian/vehicular node.

Taking this into consideration that the Victoria Market (V5529), Kot Baba (V5374), "Naidu" buildings (V5530) and the Market (V3703) are all recessed from the main road (Market Street), it is proposed that for any future building on these four plot of land, a minimum setback of 3 metres from kerb side of Market Street should be provided; to ensure facade alignment to existing Naidu Building (refer to Figure 5).

This will allow for the maintenance of the spatial continuity and widening of the public space from "Naidu" building to "Sunstroke" building which could be transformed into a "public square" in the future when and if an alternative is found for the traffic circulation, in particular with regards to the loading and unloading of goods and services.

In accordance with the proposed façade alignments the balcony space on the upper floor of all buildings facing the street must not be walled in/enclosed as an interior space. This is in order to provide natural surveillance onto the Market Street, create an active facade and interaction between the buildings and the street (refer to Figure 6).



FIGURE 6 - NATURAL SURVEILLANCE AND INTERACTION FROM OPEN BALCOONY ONTO STREETS

### **3.3 FIRST BALCONY LINE**

#### **NORTHERN SIDEWALK**

Taking into account that Lakshminivas building faces Albert Street, it is proposed to take the balcony height of Srinivas Complex as the benchmark. This will compel any future building on plot V3556 (Lakshminivas) to harmonise with the other buildings along Albert Street. Thus this proposed height must also be maintained from Albert Street to Church Street.

From Church Street to Quincy Street there are several heights for the first balconies due to the gradient of the road. It is for this reason, it is proposed to take as a reference the existing buildings in the immediate vicinity of the proposed ones as shown on drawings in Appendix B I & II.

#### **SOUTHERN SIDEWALK**

The existing Srinivas Complex is proposed as a benchmark for the first balcony height from Albert Street to Benezet Street. For a future building on plot V3703 (Market - Republic of Seychelles) a height of 3.5 meter for the first floor will be in sympathy with the "Naidu" building and match the eaves height of Victoria Market.

### **3.4 ARCHITECTURAL STYLE**

It is a commonly accepted aspiration (conviction) of the general public that the image (aura) of the old town and this whole area should be preserved and or be revived. This is also in keeping with the government's policy on the issue.

In view of this all future construction (developments) must take this into account and be conceived preserving, reviving and or utilising the creole style features, this should be the norm for all the buildings on the entire street.

#### **CONSTRUCTION AND FINISHING MATERIALS**

In keeping with the aforementioned principles a checklist of materials is provided which are not desirable and should be avoided. That is, they should not be used on any future developments on the street and where they do exist; it should be a condition of approval for any future development proposals of these buildings be it renovation, extension etc that these materials are removed, these are as follows:

- Tinted glass that is visible from the street (e.g. the building on plot V5364).
- Glass block (panes) on external building walls
- Corrugated metal sheets on external building walls
- Stone cladding be it of any stone e.g. marble,glazing etc. covering large surfaces on external building walls
- Precast concrete baluster (e.g. the balconies of Deenu building at the corner of Quincy and Lodge Streets)
- Solid parapets on balconies
- Burglar bar designs must be conceived in accordance with the respective architecture of the buildings so as to avoid standarized designs in the area (e.g. the burglar bars used in most of the shops in town) see drawings in the Appendix B (I&II)

### 3.5 PEDESTRIAN PRECINCT

Market Street, Church Street and Benezet Street should be kept as a pedestrian precinct as the area is considered to be the dominant business precinct within the Inner Victoria. Although Market Street to Church Street will be made accessible for loading/commercial vehicles and residents with car ownership on these streets, this area should remain as pedestrian precinct priority.

#### 3.5.1 PAVEMENTS

Pavements should be of the same design and material all along the streets within the pedestrian precinct and should be different from the main vehicular roads. This is to indicate loading vehicles that they are entering a pedestrian precinct hence precaution must be taken to prevent conflict/danger to pedestrians (refer to Figure 7).

Pavements should take into consideration the accessibility of people with disabilities, people with prams and the elderly. In doing so, pavements should be of smooth, firm or even surface to facilitate manoeuvring a wheelchair/pram or for any people with walking difficulties as stated in Section 3.5 i-iii of Francis Rachel Street Urban Design Guideline.

#### 3.5.2 SIDEWALKS

In cases where sidewalks are required, provisions stated in Francis Rachel Street Guideline section 3.5 i-iii should be considered.



FIGURE 7 - MARKET STREET VISION OF DAP PEDESTRIAN PRECINCT WITH DESIGNED PAVEMENTS

### 3.6 LANDSCAPING

In view of the confined street space, which is occasionally overly crowded, landscaping of Market Street is constrained. It is however, recommended that potted plants are provided on all balconies nevertheless should not be placed on top of balustrades for the safety of ground passerby.

#### 3.6.1 STREET AMENITIES

##### LITTERBINS

Specially designed enclosed litterbins should be incorporated into the street furniture such that they do not obstruct the free flow of movement and create an eyesore. Respective activities on the street should be encouraged to manage their own respective solid waste on their properties and dispose of their solid waste on collection days as agreed with the Solid Waste Management Company.

##### BENCHES

In addition, all new pedestrianised areas should be provided with street furniture incorporating planters. The street furniture should however be of a light material e.g. timber as is the case in the landscaped areas in front of Independence House. The existing street furniture and planter on the existing pedestrianised area should also be softened to retain harmony (refer to Figure 8).

##### PEDESTRIAN LIGHT POLES

As night time activities are highly encouraged in future along these pedestrian precincts, the provision of pedestrian light poles is recommended. The pedestrian lighting with short lighting-poles were seen as more effective for providing night visibility as they illuminate shrubs and corners with minimum shadows. Other than providing sense of safety, pedestrian scaled lightings along paths form as a pedestrian attraction and enhance walkability at night. On the contrary, tall lighting poles are less attractive and create inhuman environments which ultimately discourage walking at night and reluctantly enable crime.



FIGURE 8- MARKET STREET VISION OF DAP PROPOSED STREET AMENITIES

### **3. 7 PROPOSED MODIFICATION**

Under the subheading "heights" some modifications to buildings have been proposed herein additional façade modifications are stipulated.

#### **PRAKASH BUILDING**

This building is out of character and does not fit in place, because of its bad roof and façade design. In addition in view of the height of the first floor slab, which is too low, is not in harmony with the proposed height for the first balcony of this side of the street.

It is proposed that any future renovations (development) should be conditional to the demolition of the first longitudinal span of the first floor slab facing the street, in order to rebuild it in accordance with the proposed height of the first balcony line. As well a general renovation of the façade and the roof including the addition of an attic, must be undertaken in keeping with the norms recommend in these guidelines.

#### **KIM KOON BUILDING**

This building is in good condition and design concepts of rhythm and symmetry can be appreciated in its façade. It is proposed to maintain the structure with general renovations of the façade, incorporating creole style features in accordance with the general image to be achieved for all the buildings in the area.

### **SRINIVAS COMPLEX**

The appearance of this building could be softened by adding any kind of lattice between columns of the balcony, and of the ground floor, where the lattice can be attached on the existing fixed glass panels above the doors. This will reduce, from the perceptual point of view, the glass surface on the ground floor façade. The design for the balustrade should be modified in accordance with the future design of the lattice.

## 4.0 OBSERVATION

It must be noted at this stage that the proposals have been based on an urban analysis of individual streets. That is, the first for Francis Rachel street and the latest Market Street. In both cases the abutting streets have been taken into account albeit not in detail. This will however, be treated and built up in the respective series that follow.

In this respect therefore maximum heights are taken based on the context of individual streets, streetscape and width of street. Therefore with a view to retain and or restore the uniqueness of Market Street the maximum heights as recommended should be respected especially with regards to its context with the street. However, consideration may be given for an increase in heights above that recommended to the rear of the respective parcels abutting this street, based upon the plot depth, width, street width and developments in the immediate vicinity. In this respect therefore each case will have to be considered on its own merits until the entire series of guidelines for the CBD have been finalised, approved and collated so that proposals can be considered as seen from an overall urban perspective/context.

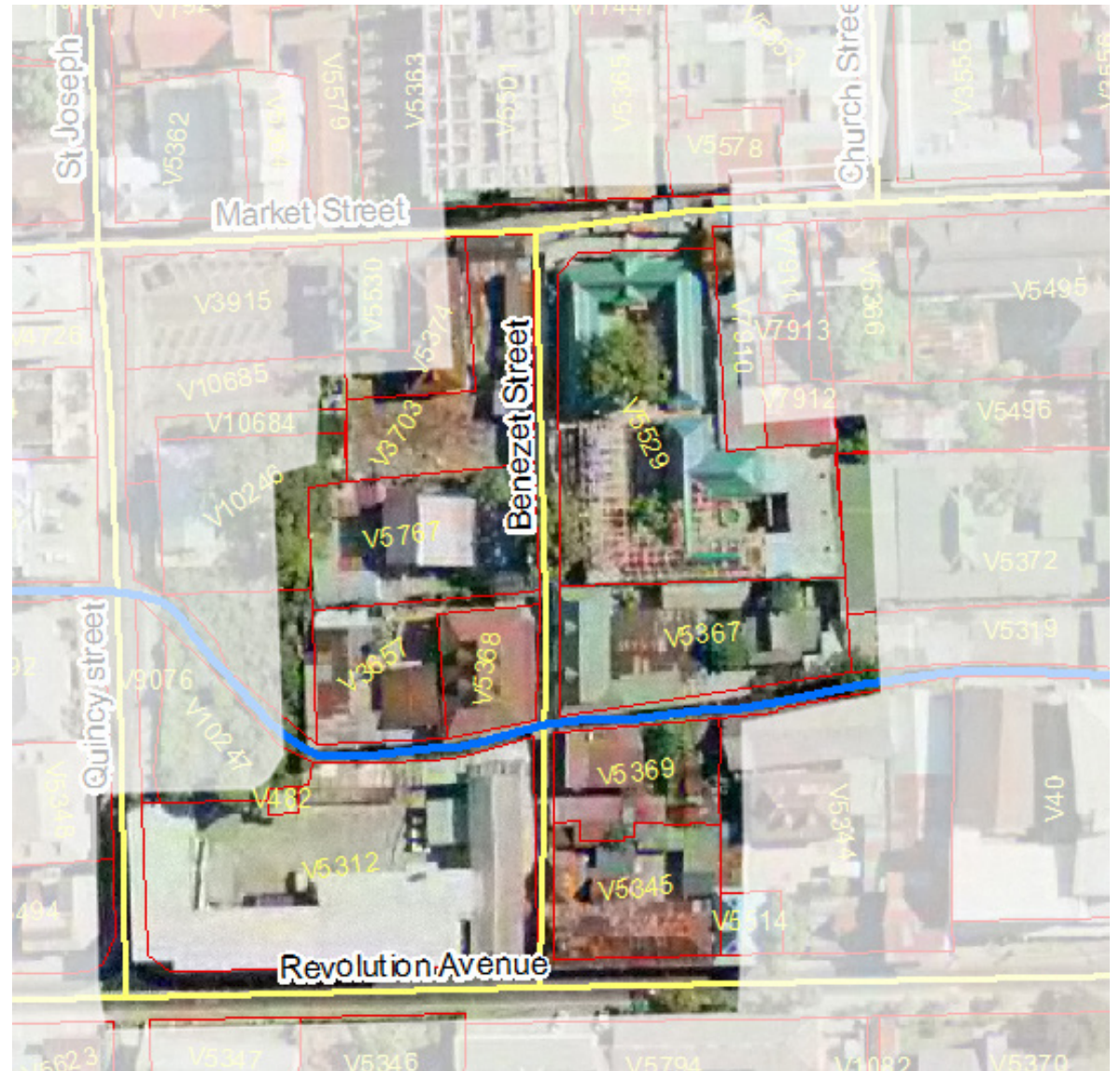


**BENEZET STREET**

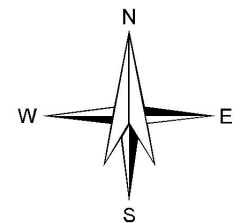
## 1.0 BENEZET STREET

This forms the third in the series of urban design guidelines for the CBD of Victoria and is complimentary to that of Market Street. It should be read as a continuum and cross-referenced with that of Francis Rachel Street especially with regards to the Terms of Reference, Justification, Methodology and urban design checklist.

Benezet Street forms a secondary Street for Revolution Avenue and Market Street respectively. Located in the heart of the CBD generally regarded as the old town. It is an important pedestrian link between Revolution Avenue and Market Street and also serves as a service street (Map 13 shows the locational context of the street).



MAP 13





## 2.0 SURVEY ANALYSIS

### 2.1 ARCHITECTURAL STYLE

As is the case for most of the streets in the CBD the architectural styles along Benezet Street varies. Being one of the inner streets, this area has more or less retained its original image. However this situation is gradually changing with new developments such as the construction of the Victoria Market and the Butchery on Parcel V3703. The different architectural styles of the buildings are shown on Table 7.

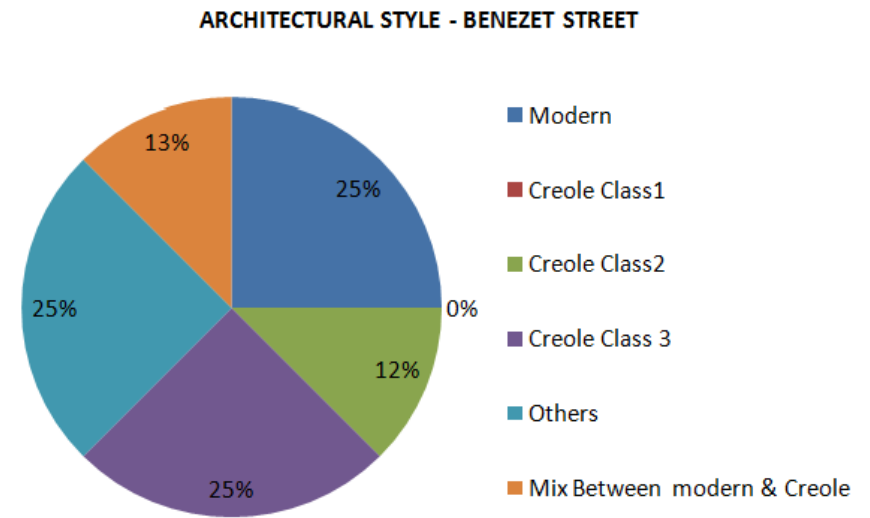


TABLE 7 - BENEZET STREET - ARCHITECTURAL STYLE 2012		
	PARCEL NO.	ARCHITECTURAL STYLE
Mahe Shipping House	V5345	Creole Class 3
Michel Building	V5312	Modern Style
King Wah Take Away	V5369	Others
Low Seck	V5369	Others
Philip Lai Lam	V5368	Modern Style
Sir Selwyn Selwyn Clerk Market	V5529	Creole class 3
Lai Lam Bakery	V5767	Mix Between modern & Creole
Chinese Pagoda	V5529	Creole Class 2
Republic of Seychelles - Market	V3703	Others

### **2.1.1 CREOLE STYLE**

Only 37% of the buildings along Benezet Street are of creole (traditional) architecture. The two buildings with a special character along this street are the Victoria Market and the Chinese Pagoda, the later with an architecture originating from traditional and oriental influence. Both of the buildings are considered as meeting places for their respective fellowship.

### **2.1.2 MODERN STYLE**

Although Benezet Street is considered as part of the old town the modern style architecture accounts for 25% of the total. A good representation of this style is the "Philip Lai Lam" building and Michel Building is another, which was constructed, in the late 60's to early 70's; its main facade fronts Revolution Avenue.

### **2.1.3 MIXTURE OF CREOLE AND MODERN ARCHITECTURE**

This style accounts for 13% of the total and is represented by "Lai Lam bakery". Similar to the other buildings of this style in the CBD, it is mainly the roof, which portrays the creole style while the façades are of modern style.

### **2.1.4 OTHERS**

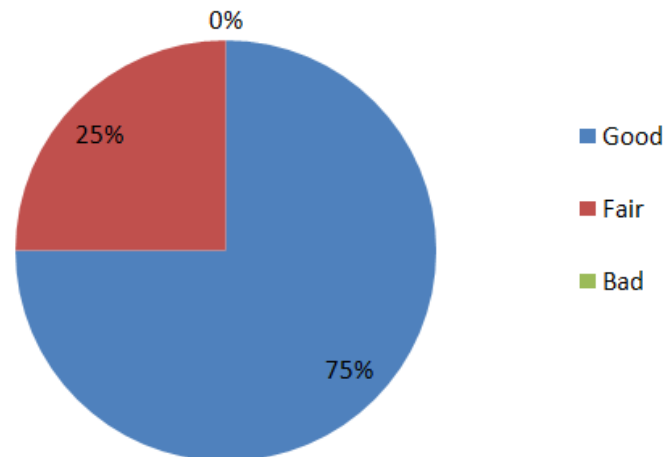
These buildings have been classified as others because it is not possible to determine their styles due to their lack of a specific architectural design and it accounts for 25% of the total.

## 2.2 CONDITIONS OF BUILDING

Most of the buildings along Benezet Street are in a good condition, this accounts for 75% of the total, and 25% are in fair condition as shown in Table 8.

TABLE 8 - BENEZET STREET - CONDITION OF BUILDING 2012		
	PARCEL NO.	CONDITION OF BUILDING
Mahe Shipping House	V5345	Good
Michel Building	V5312	Good
King Wah Take Away	V5369	Good
Low Seck	V5369	Good
Philip Lai Lam	V5368	Good
Sir Selwyn Selwyn Clerk Market	V5529	Good
Lai Lam Bakery	V5767	Fair
Chinese Pagoda	V5529	Good
Cherubin Morin property	V3703	Others

CONDITION OF BUILDING - BENEZET STREET



## 2.3 ACTIVITIES

Activities in this area are quite limited in number mainly because this area is relatively smaller compared to the main streets. Another possible reason is that most of the buildings have used space horizontally, where the maximum heights of the buildings are two storeys and this has resulted in limited floor space for the various activities. With the future construction on V3703 owned by the Republic of Seychelles, more activities will be made available. The proportions of the various activities are shown in Figure 8.

### 2.3.1 COMMERCIAL

This is the most common activity in this area where most of the retail outlets are located on the ground floor with the exception of the "Mahe Shipping" and Michel Building where commercial activities are located on both ground floor and first floor.

Apart from the Victoria Market, the commercial activity, which attracts the most customers in this area is the Mahe Shipping Building currently providing retails/shops on ground and first floor, and an open vegetable Market. Mahe Shipping gains its advantages from its central location and the pedestrian link connecting to Benezet Street from Revolution Avenue. Apart from the Market, Take-Away and restaurants, this area specialises mainly in the sale of clothing, shoes, hair products and a variety of household items.

### 2.3.2 OFFICES

The only one building comprising of this type of activity is the Michel Building. However, the main entrances of these offices are facing the main street i.e. Revolution Avenue.

### 2.3.3 RESIDENTIAL

Benezet Street is not very popular as a residential area and this account for 30% of the total. building use. Lai Lam building comprises of four bedsitters, whereas the "Low Seck" building consist of one private dwelling for the owner. However, at the back of both Lai Lam properties are the residence for the Lai Lam family.

## 2.3.4 SOCIAL INFRASTRUCTURE

The Chinese Pagoda is a central meeting place for religious and social activities for the Chinese and their descendants residing in Seychelles. It gives a different character to the street providing for some recreational activities instead of only being a business and residential area as most of the streets in the CBD.

## 3.0 LOCATIONAL CONSIDERATION

Being a very busy area it is fortunate that Benezet Street is for pedestrian use only except for loading/unloading and for use by the residents of this area. During peak periods pedestrian access is almost impossible as the road is too narrow and as there is no other free space available it is almost impossible to solve this problem.

The central location of Benezet Street plus the fact that it is very close to the Victoria Market qualifies this area as a very good venue for business. Access to the shops is easy as they are all located on the ground floor and are facing the street.

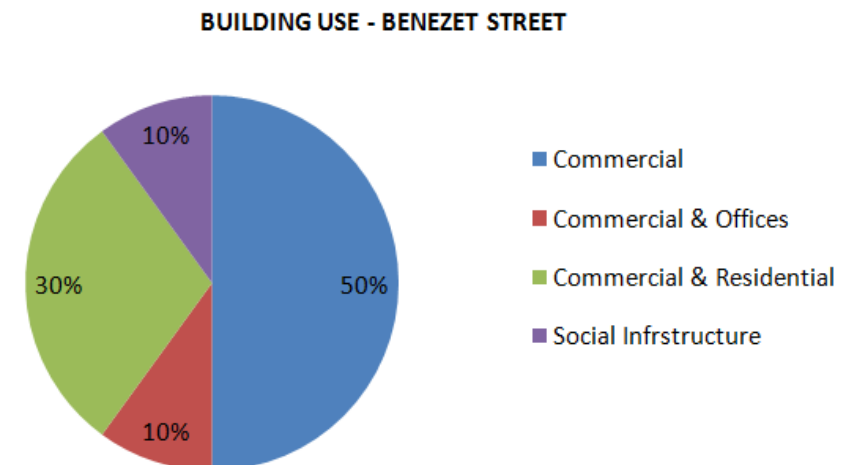
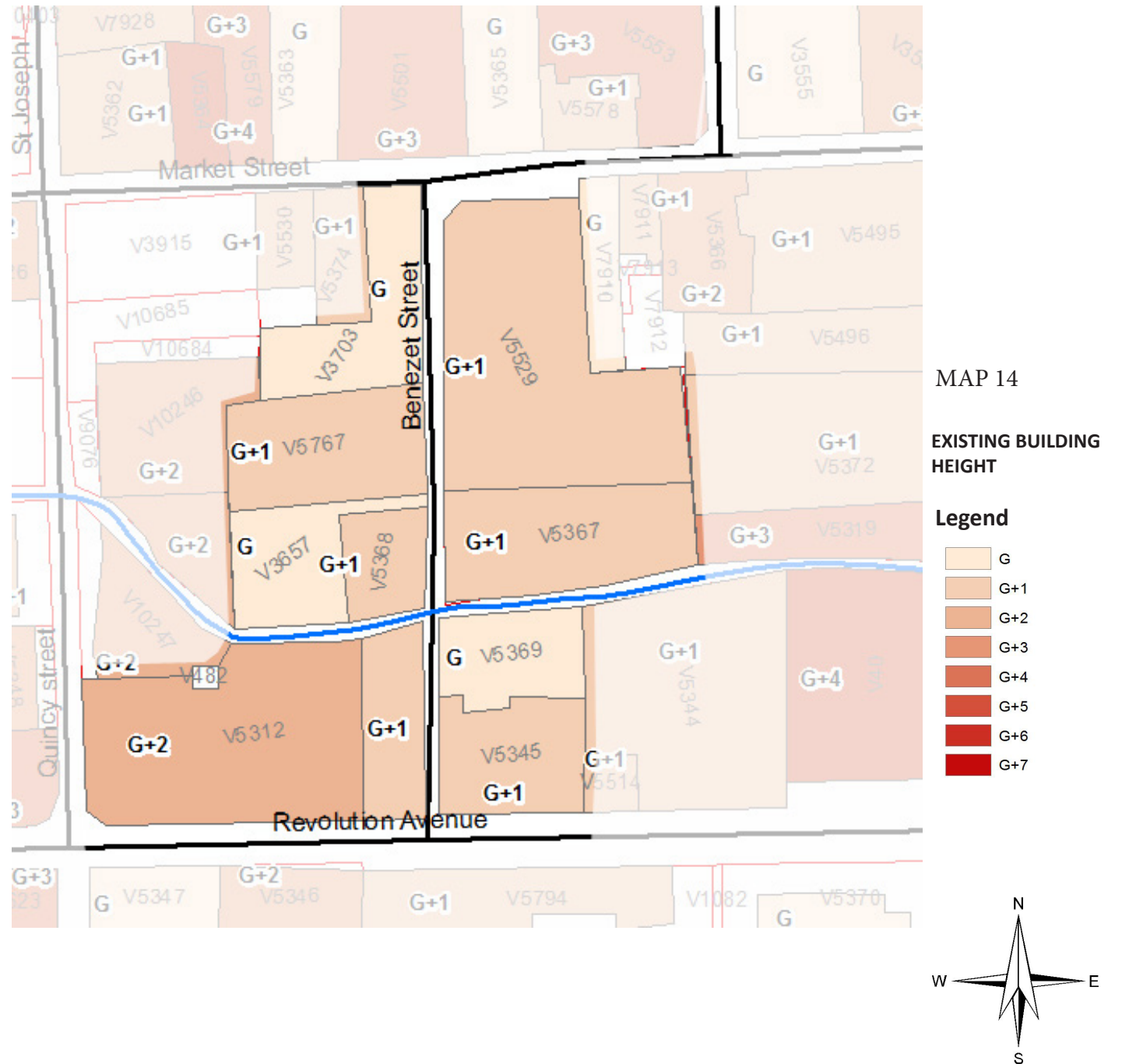


FIGURE 8 - BUILDING USE BENEZET STREET

## 4.0 BUILDING HEIGHT

Similar to Market Street, 56% of buildings are of one storey, followed by 33% of buildings with ground floor only. The highest building is Michel Building which consists of two storeys (refer to Map 14)



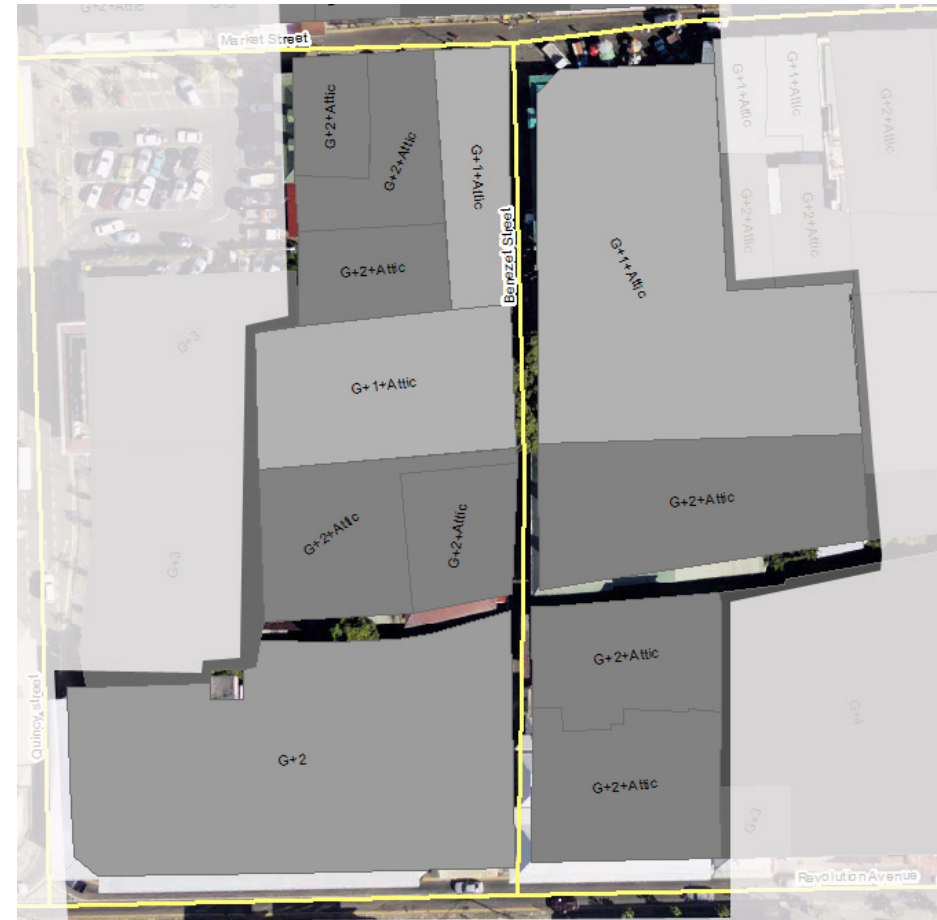
## 5.0 URBAN DESIGN GUIDELINES - BENEZET STREET

For the purpose of the General Urban Guidelines for Francis Rachel Street the following seven general details are taken into account:

- Building heights
- Facade alignment
- First balcony line
- Architectural style
- Pavements
- Landscaping
- Proposed modifications

### 5.1 BUILDING HEIGHT








As has been stated for Market Street a maximum height of three storey or Ground + 2 + Attic should be allowed for all buildings facing Benezet street. This however should be considered on a case-by-case basis.

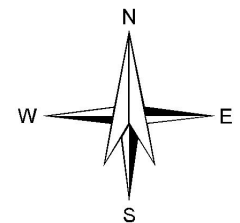


MAP 15 (i)- PROPOSED BUILDING HEIGHT BENEZET STREET

#### PROPOSED BUILDING HEIGHTS

##### Legend

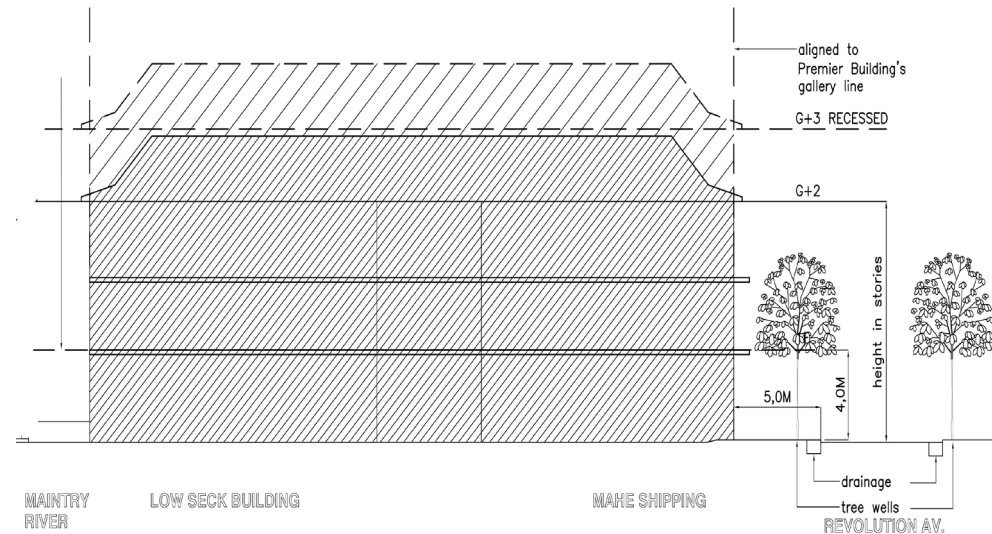
	G
	G+1
	G+2
	G+3
	G+4
	G+5
	G+6





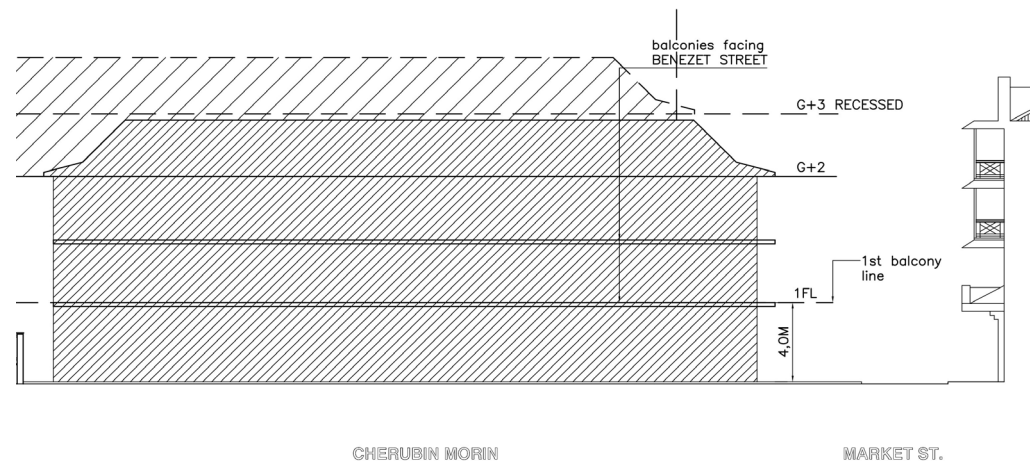
## KING WAH RESTAURANT (V5369)

In the case of King Wah Restaurant, the stated height of two storey plus attic or three storey height should be conditional to the extension of the recessed part of the building up to the front façade line, which should be subject to negotiation with the adjacent proprietor (Mahe Shipping) otherwise the maximum height allowed for the part of the building facing the street should be two storey in order to avoid the building to look too slender (tower like).



## PARCEL NO. V3703 (REPUBLIC OF SEYCHELLES)

As stipulated in the Market Street Guideline, any future building on parcel V3703 should have a maximum height of two storeys, for the wing facing both Market & Benezet streets. For the internal wing of the building that will front onto the Market Street car park, a possible maximum height of three storeys can be allowed, however should be recessed from Benezet Street. The building should have either a main facade fronting the Market Street car park and one facing the Benezet Street or both (refer to Appendix B I&II). An arcade/walkway should be considered in any future proposed development on parcel V3703 so as to maintain the current pedestrian link from Benezet Street to Quincy Street.





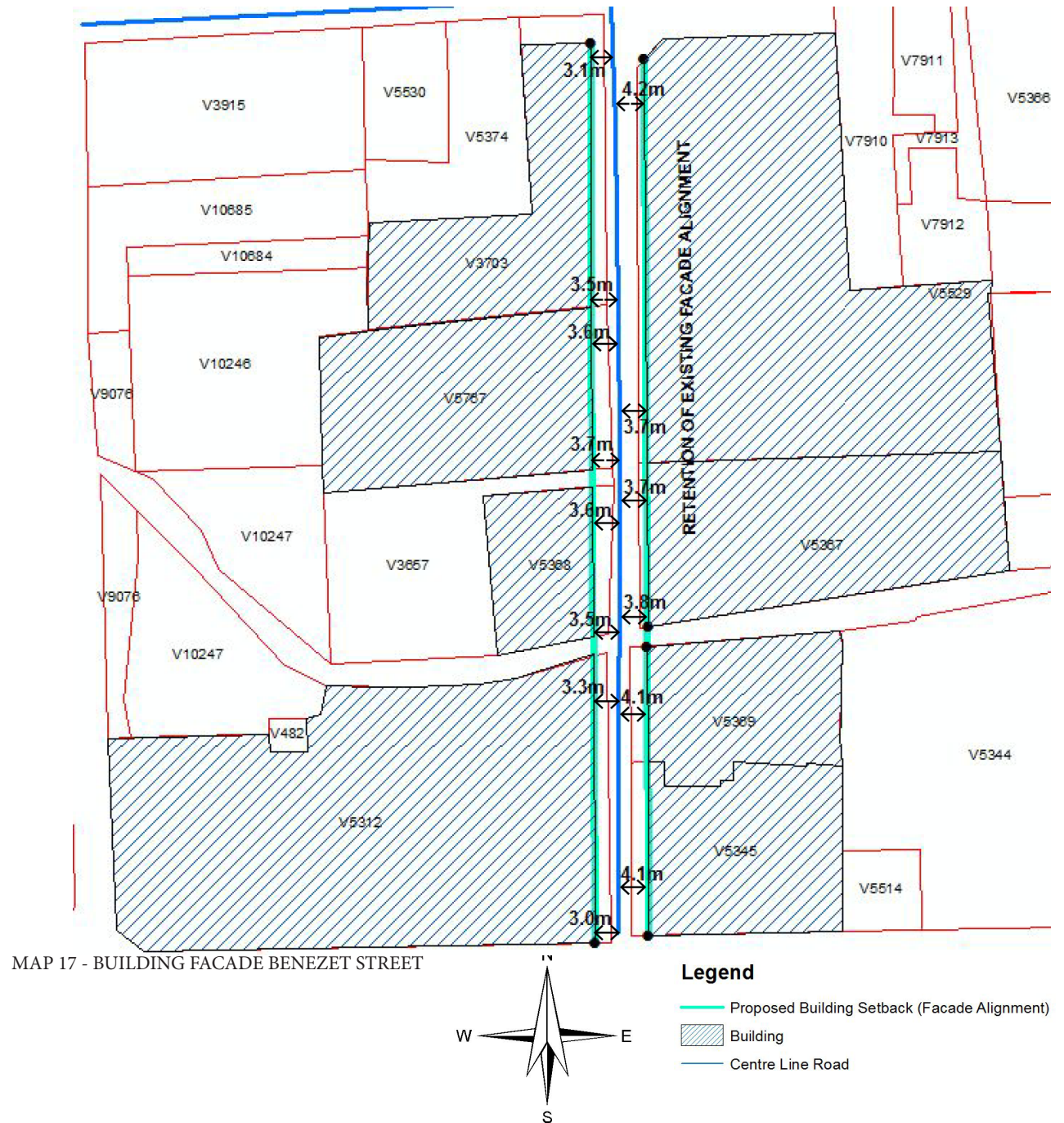
## 5.2 FACADE ALIGNMENT (BUILDING SETBACK)

### EASTERN SIDEWALK

Benezet Street gets narrower at the junction of Revolution Avenue. This also causes lack of character at this junction because of the poor quality of public space. In order to enhance the character of this junction and to maintain the quality of public space all along the street, it is proposed that for any future developments on correspondent plots belonging to Mahe shipping (V5345) and King Wah Restaurant (V5369) a minimum setback of 2.5 metres from the kerb side of Benezet Street should be provided. This is to ensure alignment of future buildings to the existing "Low Seck" (V5369) building.

### WESTERN SIDEWALK

The facade alignment of the existing Michel building (2 metres from kerb side) should be maintained along this side of the street. Any future development on plots belonging to the Republic of Seychelles (V3703), Philip Lai Lam (V5868) and the Chinese Pagoda (V5767) is recommended to recess 2 metres from the kerb side of Benezet Street but not closer to the boundary than the stated facade alignment (refer to Map 17 & Figure 19).





BEFORE BUILDING SETBACK



AFTER BUILDING SETBACK

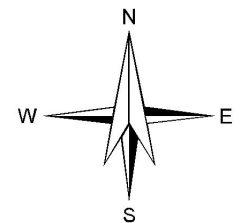


FIGURE 9 - VISUAL DAP OF FACADE ALIGNMENT BENEZET STREET



BEFORE BUILDING SETBACK

AFTER BUILDING SETBACK



### **5.3 FIRST BALCONY LINE**

A minimum height of 3.5 meter for the first balcony would allow the location of commercial activities at ground floor level of buildings. In the case of Mahe Shipping this height is maximum so as to avoid a contrast with the first balcony of the building next door on Revolution Avenue.

### **5.4 ARCHITECTURAL STYLE**

Make reference to Market Street guidelines. The Architectural style stated therein should prevail on the street.

### **5.5 PAVEMENTS**

Benezet Street must be kept for pedestrian use only. In view of this, the pavements and road should be appropriately designed for pedestrians with different needs as has been proposed in section 3.5.1 of the Urban design guideline for Market Street . Additionally, in view of the nature of this Street during peak hours with the conflict between pedestrian and vehicular circulation it is recommended that vehicular circulation for loading and unloading is restricted to the early hours of the day for fresh items and late in the evening for dry goods. The use of the street for on street vending from temporary stalls or off vehicles should be discouraged.

### **5.6 LANDSCAPING**

In the event the Chinese Pagoda is to be retained or redeveloped in its present alignment, it is recommended that the landscape should be enhanced on this property and that the solid wall on the street side be redesigned similar to the wall of the Victoria Market. Depending on the future use on this plot of land, the existing wall should be designed in order to achieve visibility to and from the street for natural surveillance and interaction between building and streets.

Street Amenities and Streetscape as stated in guidelines for Market Street should be considered. Retention of existing mature trees such as the mango tree adjacent to the south-west entrance

In general buildings along Benezet Street should have an active facade - no blank wall should be fronting onto streets within the pedestrian precincts.

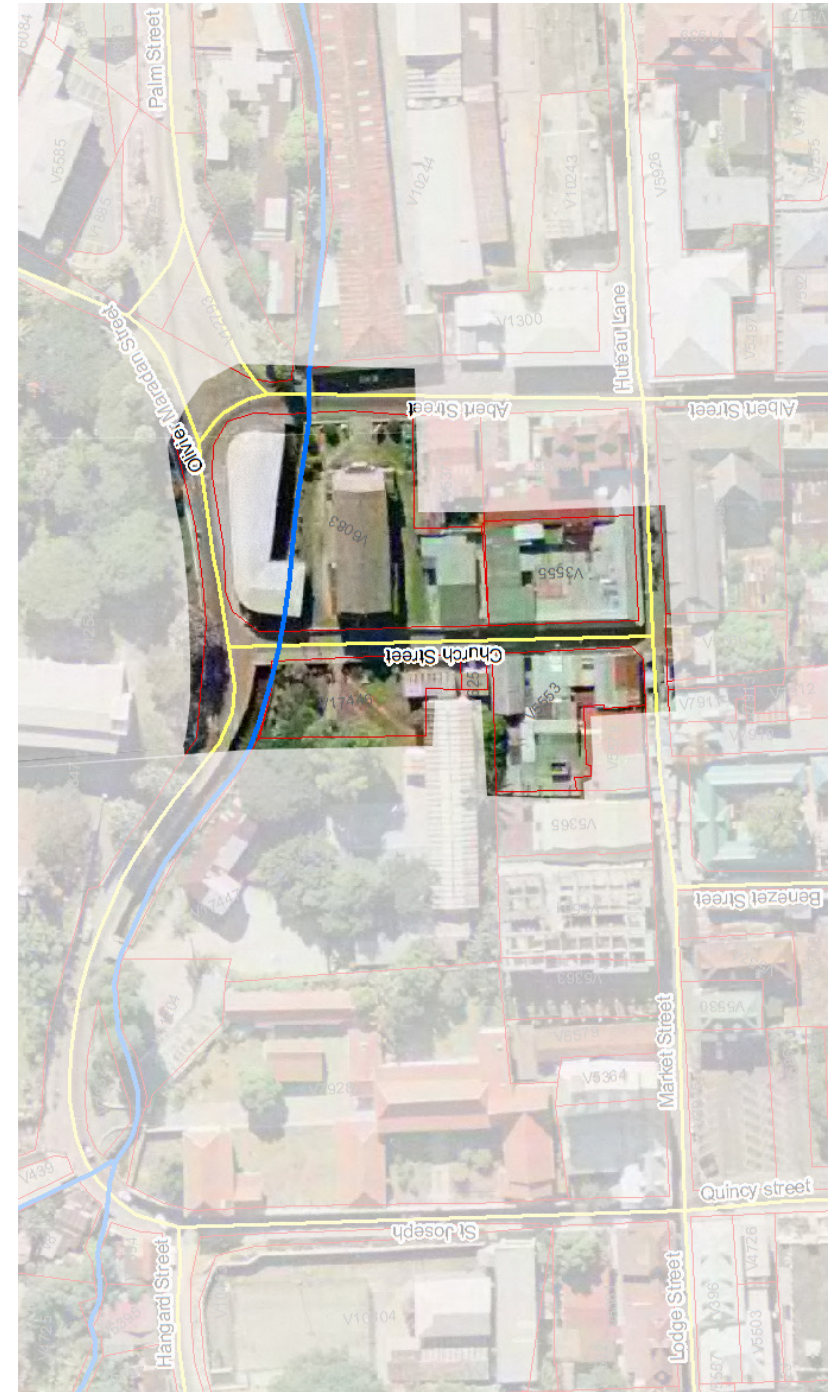
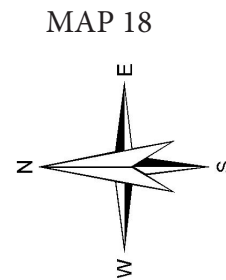


**CHURCH STREET**

## 1.0 CHURCH STREET

This is the fourth in the series of urban design guidelines for the CBD of Victoria and is complementary to that of Market Street. It should be read as a continuum and cross-referenced with that of Francis Rachel Street especially with regards to the terms of reference, justification, methodology and urban design checklist.

Church Street is located in the CBD and it forms a strategic part of the old town in its proximity to the bus terminal. It is a well-known secondary street providing for various commercial and office activities and is also an important pedestrian and service link between Market Street and Olivier Maradan Street (Map18 shows the locational context of the street).



## 2.0 SURVEY ANALYSIS

### 2.1 ARCHITECTURAL STYLE

Most of the buildings along this street are recently built, with exception of Librarie St. Fidele and sale D'oeuvres, and some minor modifications to the Pranal Jivan building. The buildings along Church Street have been classified as either modern or others and this is represented on Table 9.

#### 2.1.1. MODERN STYLE

The modern style along Church Street accounts for 50% of the total. In all cases the buildings depicting this are newly built. This includes the OJ Market Mall and the Yangtze building on Parcel No. V17446.

#### 2.1.2. OTHERS

This style accounts for 50% of the total and the buildings have been classified as such because of their lack of a specific design. La Salle D'oeuvres, which is one of the oldest buildings in town, has also been classified as others and its façade, which is fronting Church Street, has roman architectural influence.

## 2.2 CONDITION OF BUILDINGS

As depicted in Table 10, 50% of the buildings are in good condition and 25% are in a fair condition.

	<b>PARCEL NO.</b>	<b>CONDITION OF BUILDING</b>
Pranal Jivan	V3555	Fair
Librarie St Fidele (Roman Catholic Church in Seychelles)	V6083	Good
OJ Market Mall (Octave and Jenny Properties)	V5553	Good
Roman Catholic Church in Seychelles	V17446	Underconstruction

	<b>PARCEL NO.</b>	<b>ARCHITECTURALS TYLE</b>
Pranal Jivan	V3555	Others
Librarie St Fidele (Roman Catholic Church in Seychelles)	V6083	Others
OJ Market Mall (Octave and Jenny Properties)	V5553	Modern
Roman Catholic Church in Seychelles	V17446	Modern

## 2.3 ACTIVITIES

A marked feature of this street is the absence of residential activity and therefore Church Street is renowned for its commercial and office activities of various kinds. It is possible to increase the activities along Church Street, especially residential activity which should be added to this street in order to contribute in achieving the balance of street liveliness between peak and off peak hours. The proportion of various activities are shown in Figure 10.

### 2.3.1 COMMERCIAL

As is the case for most of the areas in Victoria, commercial activity is the most dominant in the buildings along Church Street. This activity includes the retailing of goods and services of various types but specialises mainly in the sale and manufacture of clothing and the sale of other related goods.

Of the commercial activities, shops are not a common business in the area most of which are located in the OJ Enterprise building. The shops in OJ Enterprise and the two shops in the "Family Resource Centre" building are at an advantage in that they both abut the street providing easier access for the customers.

### 2.3.2 OFFICE

The only building providing office uses is the 'Yangtze' building which provides for mixed uses.

## 3.0 LOCATIONAL CONSIDERATION

Despite the fact that Church Street is located adjacent to Market Street and is similar to Benezet Street in that it is mainly used for loading and unloading and for pedestrian access, it is nevertheless not as congested as Benezet Street and the other areas of Victoria. This is due to several factors:

1. It comprises of less activities
2. The building activities are not dependent on the street frontage
3. The street is wider hence provides ample space to accommodate large crowds of pedestrian

With the close proximity of Church Street to the Bus Terminal, the surrounded prime land along this street forms as a good venue for businesses. Therefore Church Street has the potential of becoming a major attraction in the CBD if the activities were to increase with the inclusion of business outlets and residential development.

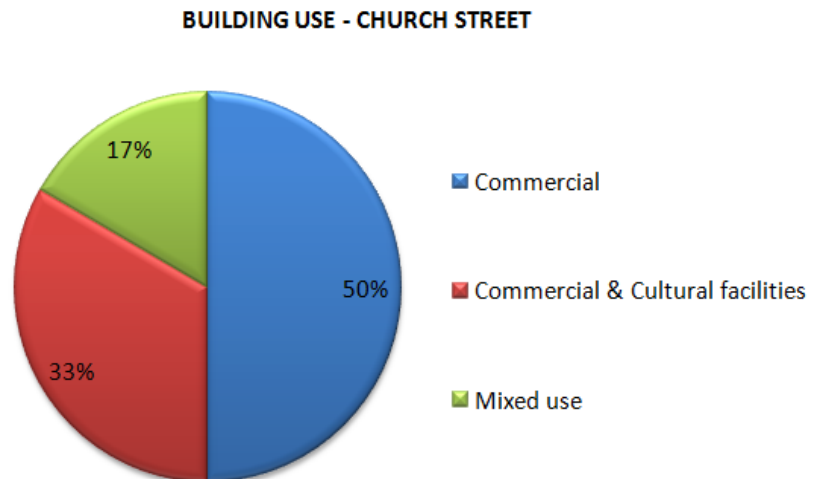
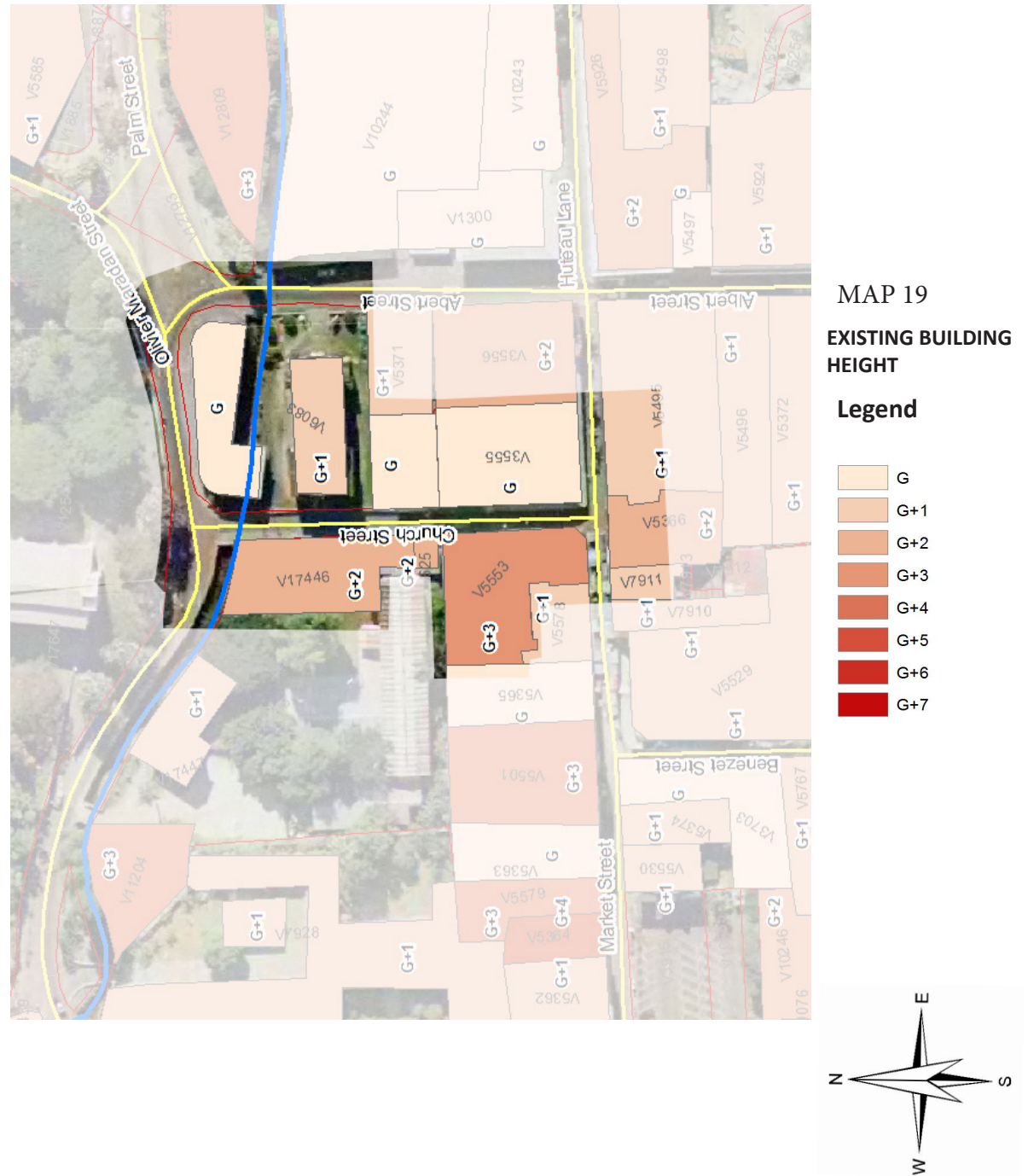


FIGURE 10 - BUILDING USE

## 4.0 BUILDING HEIGHTS

Similar to Benezet Street, the maximum height for the buildings along Church Street are two storey irrespective of their style and if these were to be increased the amount of goods and services offered in the area would increase (refer to Map 19). This would also help in making the street livelier and at the same time decentralise the activities by spreading them along the inner streets instead of having all businesses clustering along the main streets.

The Ste Claire building which was originally a school and although it is recessed from the street was the location for various commercial activities, however the building has been demolished for future development of offices, Commercial, and parking facilities. As this property is spacious, there is enough space for horizontal expansion (which is not possible for majority of the buildings in the CBD due to limited land area). This is an alternative to vertical expansion, as both are possibilities for future development in the area.





## 5.0 URBAN DESIGN GUIDELINES - CHURCH STREET

For the purpose of the General Urban Guidelines for Francis Rachel Street the following seven general details are taken into account:

- Building heights
- Facade alignment
- First balcony line
- Architectural style
- Pavements
- Landscaping
- Proposed modifications

### 5.1 BUILDING HEIGHTS

A maximum height of three storey or Ground + 2 + Attic can be allowed along Church Street. In general, a G+3 can be considered depending on the shape of parcels, depth in relation to the street and the size of parcels.

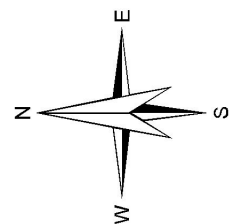


MAP 20

#### PROPOSED BUILDING HEIGHTS

##### Legend

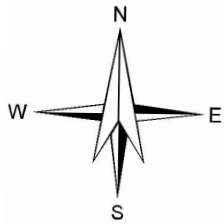
- G
- G+1
- G+2
- G+3
- G+4
- G+5
- G+6



**EXISTING HERITAGE BUILDING HEIGHTS**

**Legend**

- G
- G+1
- G+2
- G+3
- G+4



MAP 21 & 22

The identified potential heritage buildings along Church Street are also taken into consideration for the proposed building heights (refer to Map 21 & 22). However, if buildings of heritage potential in the future has not yet declared/heritage listed, the maximum proposed height for such buildings should be considered as shown in Map 20.

BUILDING/OWNER	PARCEL NO.
St Fidelle	V6083
Deepam Cinema (Salle Doeuvres)	V6083

**Legend**

- Declared Heritage Building
- Declared Heritage Structure
- Declared Heritage Sites
- Potential Heritage Building
- Potential Heritage Structure
- Potential Heritage Sites

## ST FIDELE LIBRARY (V6083)

Taking into consideration the shape of the plot of St. Fidele Library and that it is partially on the water catchment/drainage from Moosa River, for any future renovation to the building, the existing height should be kept. Any vertical extension should not be allowed on this building. This development raises the issue with regards to development in the proximity of river reserves more so those that encroach over the river reserves. It has been noted that this is becoming increasingly the norm in Victoria, which could result in a detriment of the river reserves that should be left in their natural state as it enhances the physical realm around the built environment (refer to Figure 10).

It is recommended that the Planning Authority revisits its policy in this regard as in addition, this contravenes the State Land and River Reserves Act (CAP 228) which stipulates that ten French feet (3metres 23 centimetres) of the banks of rivers, rivulets or any tributary should be covered with trees and brushwood. That if reserves are "situated at 550 feet or more above sea level, the reserve shall be 50 French feet."



FIGURE 10 - St Fidele Library (V6083) abutting water drainage from Moosa River

## 5.2 FACADE ALIGNMENT (BUILDING SETBACK)

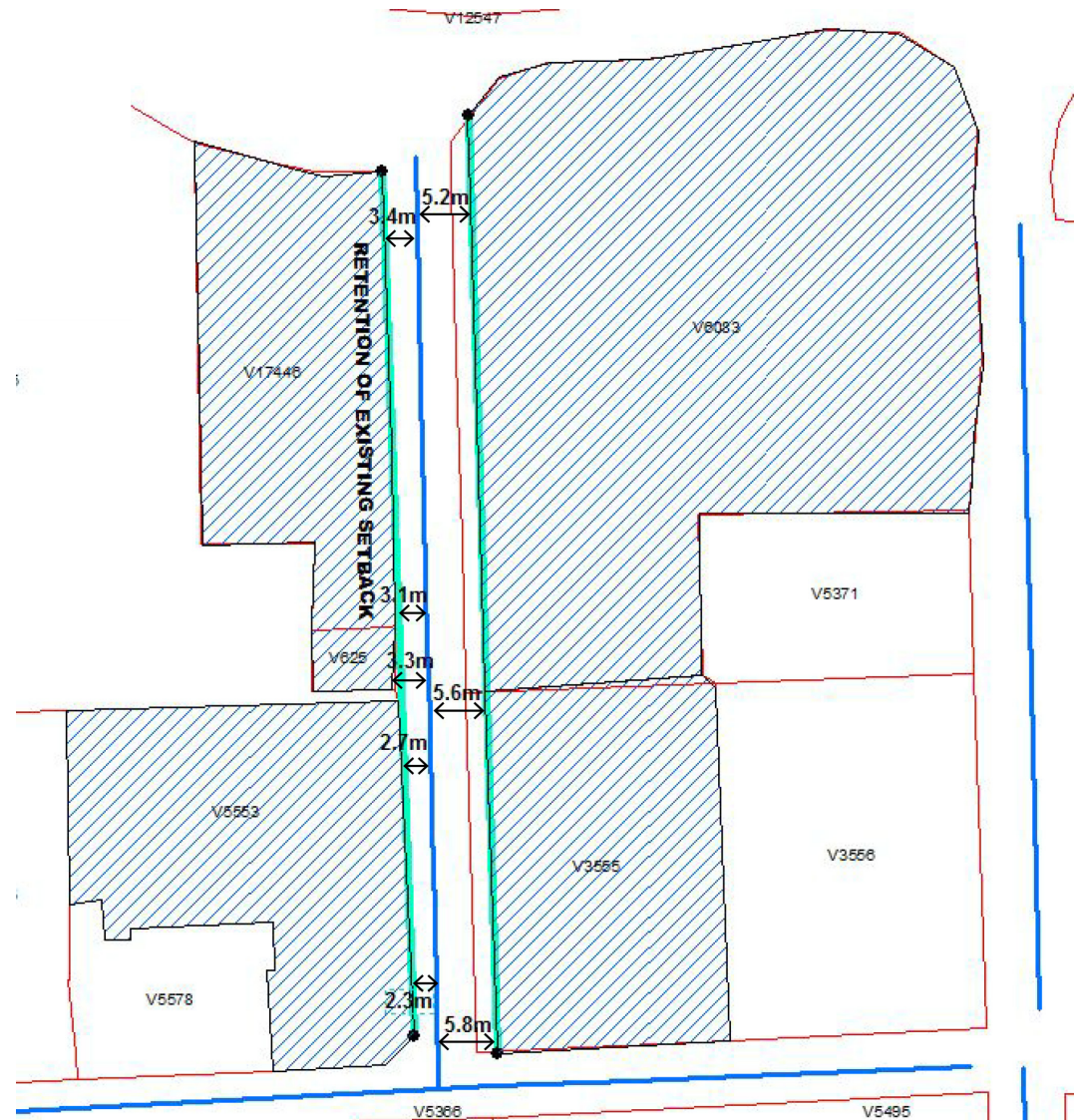
In accordance with the proposed Creole/traditional style architecture for all future buildings in the area, open balconies facing the street should be situated within the boundary line. In order to avoid the encroachment of balconies on the road, any future development on this side of the street should be setback to minimum of 1.20 metres from the boundary line fronting Church Street.

### EASTERN SIDEWALK

The current alignment for St Fidele should be maintained. Any future development on the "Salle D'oeuvres /Family Resource Centre" plot(s) (V6083) and Pranal Jivan property (V3555) should be aligned to St Fidele or provide minimum setback of 2 metres from the kerb side of Church Street.

### WESTERN SIDEWALK

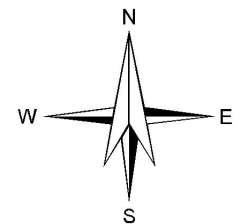
The current alignment for OJ Enterprise building (V5553) can be maintained as the future façade alignment on this side of the street.



MAP 23

#### Legend

- Proposed Building Setback (Facade Alignment)
- Building
- Centre Line Road



### **5.3 FIRST BALCONY LINE**

A minimum height of 3.5 metres for the first floor would allow the location of commercial activities at the ground floor of buildings.

### **5.4 ARCHITECTURAL STYLE**

This should be cross-referenced with Market Street guidelines.

For any future renovation on the Saint Fidele building, both styles creole or modern could be allowed. In the case of parcel V7929, if a future development is conceived as only one large building, the same consideration as for St. Fidele could be given. However, should individual buildings be proposed on this plot, the building facing Church Street should be designed with creole/traditional style features in view of its size.

## 5.5 PAVEMENTS, STREETScape AND STREET AMENITIES

Provisions for Pavements, streetscape and street amenities should be provided with the same design and requirements as stated in section 3.5.1 of Urban Design Guideline for Market Street.

## 5.6 LANDSCAPING

In the event La Salle D'oeuvres is to be retained or for any future development on this plot of land (in accordance with its current alignment) it is recommended the landscape should be enhance on this property.

### BOUNDARY WALLS

The provision of boundary walls along this street is strongly discourage as this may create segregation of direct interaction between building activities located on ground floor and the street. However, if there should be a necessity for future proposal of boundary wall that is depending on the type of building use; specifically if for residential use, a boundary wall of 1.8 metres height and design similar to that of Victoria Market should be considered. The design of boundary wall in this respect should be creting visibility to/from the building/streets to increase natural surveillance and interaction with the streets (refer to Figure 11).

In general, buildings along this street should provide an active facade as stated in section 5.6 of Benezet Street urban guideline.



FIGURE 11 - BOUNDARY WALL DESIGN OF VICTORIA MARKET

**BUILDING COLOUR SCHEME:  
THE CENTRE OF VICTORIA**



## CONCEPTUAL COLOUR SCHEME: BUILDINGS IN CENTRE OF VICTORIA

This concept has been elaborated taking into consideration the common points of view of several local architects, and it is based on the idea of flexibility rather than restrictive range of colors.

- Market & Benezet streets should look colorful, allowing the use of any range of colors. Not white neither gray colors should be applied on large surfaces but only on small areas.
- Pastels should be used the most, while the use of intense colors will depend on the architectural style and finishing materials, which is the case as for the traditional architecture.
- For the rest of the center, where pastels should be predominant, any range of colors can be used, including off-white and white colors combined with other colors. All white buildings should be allowed only if it is the case of buildings of relevant importance like State House, Churches, Hospitals.
- The variety of colors for the roofs is accepted, but not blue roofs will be allowed. No other kind of roofing but pre-painted metallic roofing sheets should be used as roofing for the buildings in this area of the town.

### Buildings in the surroundings of Victoria

- Color scheme should be more restrictive for those developments located on the hillside, which can be seen from town. Developers should be educated and encouraged about the use of colors, which should match in the natural environment rather than produce high contrasts and undesired visual impacts, like it is the case of many hillside developments at present.

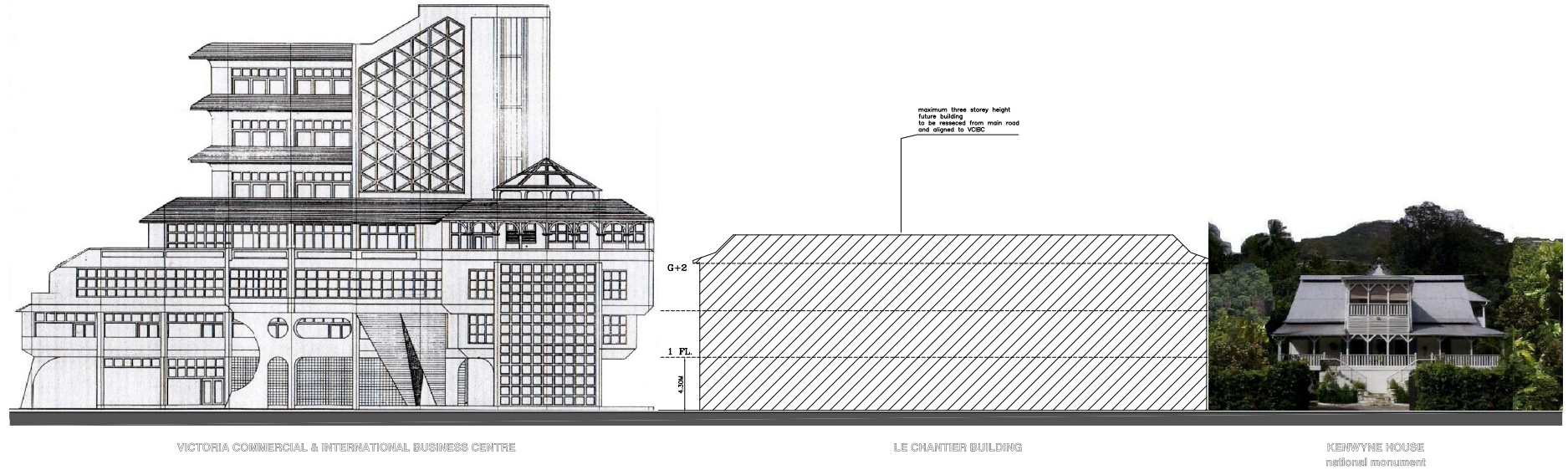
Despite the concept of flexibility, which will allow the developers to express themselves thru' the color scheme, the Planning Authority might disagree any specific proposal.





# A P P E N D I C E S

APPENDIX A (I) - FRANCIS RACHEL STREET



DRAFT

BUILDING HEIGHT: VERTICAL EXTENT OF THE BUILDING MEASURED  
BY NUMBER OF STORIES, FROM THE ROAD LEVEL,  
AT CENTER LINE OF BUILDING, TO ROOF EAVES/CORNICE.  
ATTICS DO NOT COUNT AGAINST BUILDING HEIGHT LIMITATIONS.



PROPOSED URBAN GUIDELINES FOR VICTORIA-phase1

FRANCIS RACHEL  
Street 1

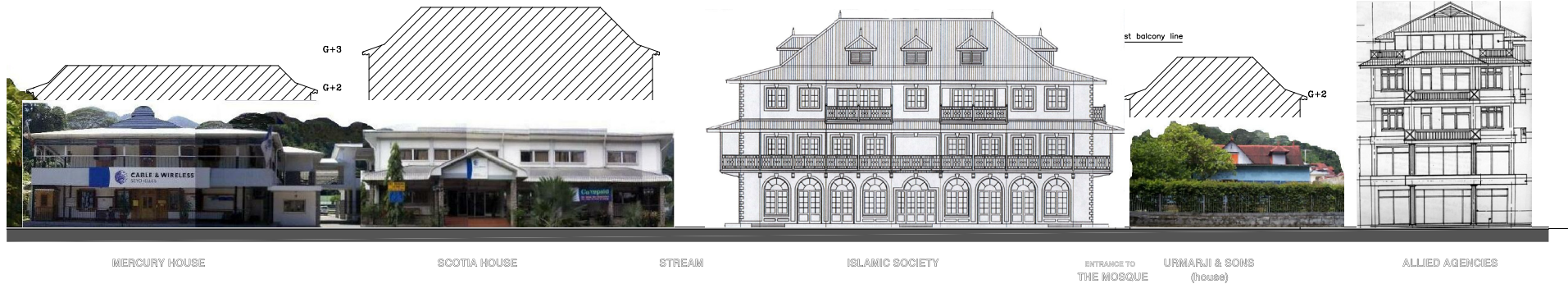
PREPARED BY:  
PATRICIA BAQUERO  
Planner  
RUBEN BAQUERO  
Architect / Urban Designer  
MAY 2004



MINISTRY OF LAND USE & HABITAT  
LAND USE PLANNING

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APPENDIX A (II) - FRANCIS RACHEL STREET



DRAFT

BUILDING HEIGHT: VERTICAL EXTENT OF THE BUILDING MEASURED BY NUMBER OF STORIES, FROM THE ROAD LEVEL, AT CENTER LINE OF BUILDING, TO ROOF EAVES/CORNICE. ATTICS DO NOT COUNT AGAINST BUILDING HEIGHT LIMITATIONS.



PROPOSED URBAN GUIDELINES FOR VICTORIA-phase 1

FRANCIS RACHEL Street 2

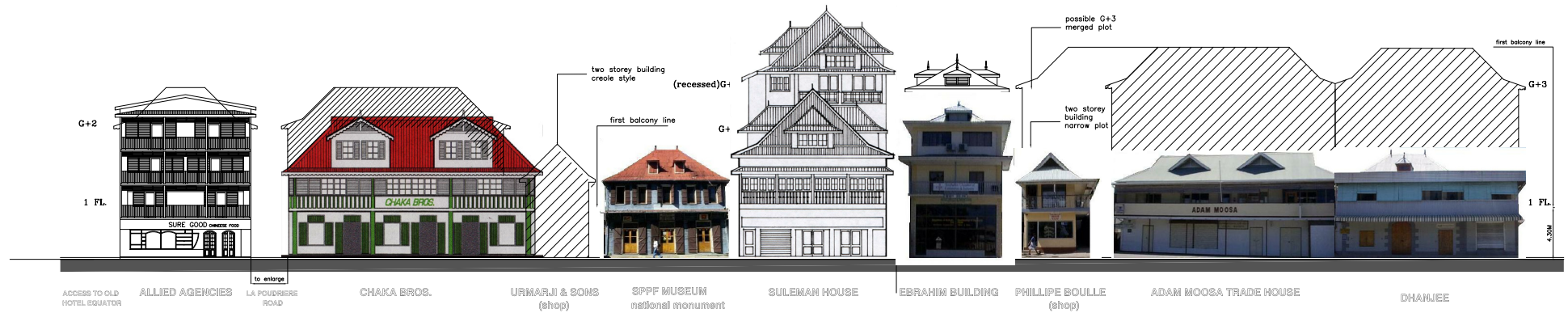
PREPARED BY:  
PATRICIA BAQUERO  
Planner  
RUBEN BAQUERO  
Architect / Urban Designer  
MAY 2004



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APPENDIX A (III) - FRANCIS RACHEL STREET



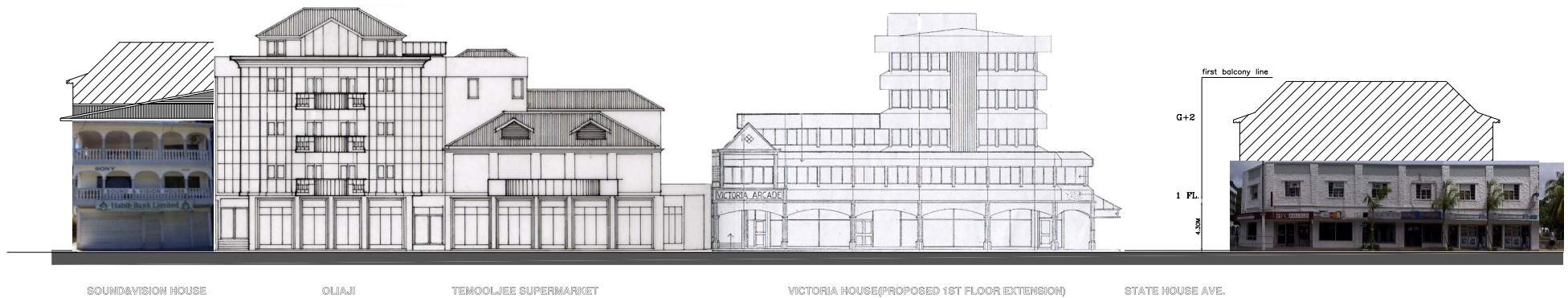
DRAFT

BUILDING HEIGHT: VERTICAL EXTENT OF THE BUILDING MEASURED BY NUMBER OF STORES, FROM THE ROAD LEVEL, AT CENTER LINE OF BUILDING, TO ROOF EAVES/CORNICE. ATTICS DO NOT COUNT AGAINST BUILDING HEIGHT LIMITATIONS.



<p>PROPOSED URBAN GUIDELINES FOR VICTORIA-phase 1</p>	<p>FRANCIS RACHEL Street 3</p>	<p>PREPARED BY: PATRICIA BAQUERO Planner RUBEN BAQUERO Architect / Urban Designer MAY 2004</p>	 <p>MINISTRY OF LAND USE &amp; HABITAT LAND USE PLANNING Copyright © Worldwide M.L.U.H./L.U.P. - SEYCHELLES</p>
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APPENDIX A (IV) - FRANCIS RACHEL STREET



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BUILDING HEIGHT: VERTICAL EXTENT OF THE BUILDING MEASURED BY NUMBER OF STORIES, FROM THE ROAD LEVEL, AT CENTER LINE OF BUILDING, TO ROOF EAVES/CORNICE. ATTICS DO NOT COUNT AGAINST BUILDING HEIGHT LIMITATIONS.



PROPOSED URBAN GUIDELINES FOR VICTORIA-phase 1

FRANCIS RACHEL Street 4

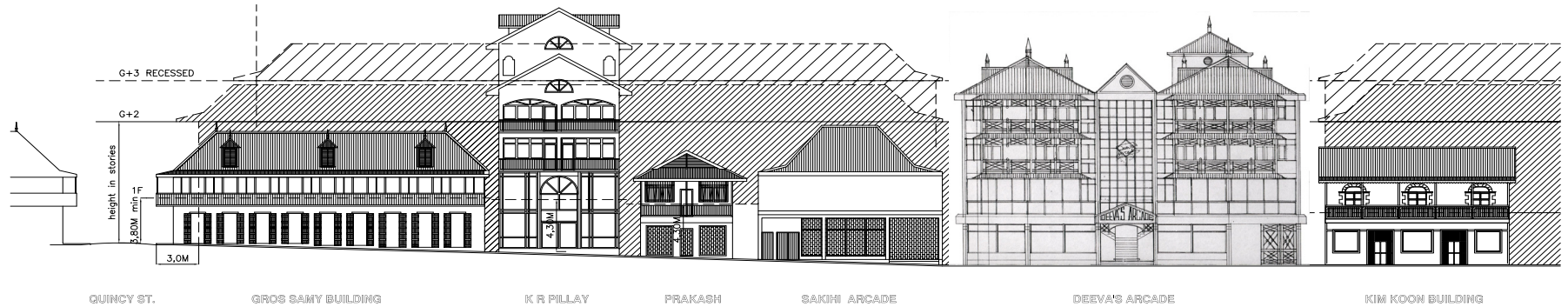
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Planner  
RUBEN BAQUERO  
Architect / Urban Designer  
MAY 2004



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# APPENDIX B (I) - MARKET STREET



ELEVATION OF THE NORTHERN SIDE WALK



ELEVATION OF THE SOUTHERN SIDE WALK

BUILDING HEIGHT: VERTICAL EXTENT OF THE BUILDING MEASURED BY NUMBER OF STORIES, FROM THE ROAD LEVEL, AT CENTER LINE OF BUILDING, TO ROOF EAVES/CORNICE. ATTICS DO NOT COUNT AGAINST BUILDING HEIGHT LIMITATIONS.



PROPOSED URBAN GUIDELINES FOR VICTORIA-phase 1

MARKET STREET  
1

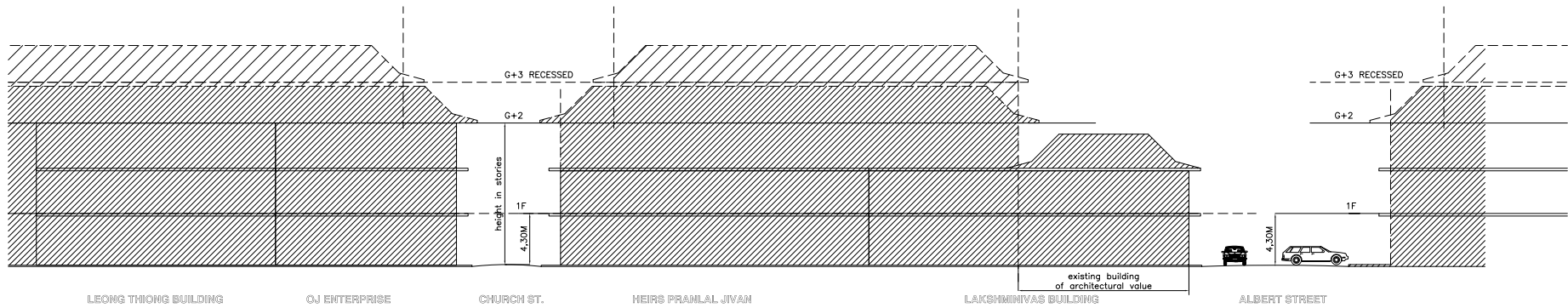
PREPARED BY:  
RUBEN BAQUERO  
Architect / Urban Designer  
MAY 2004



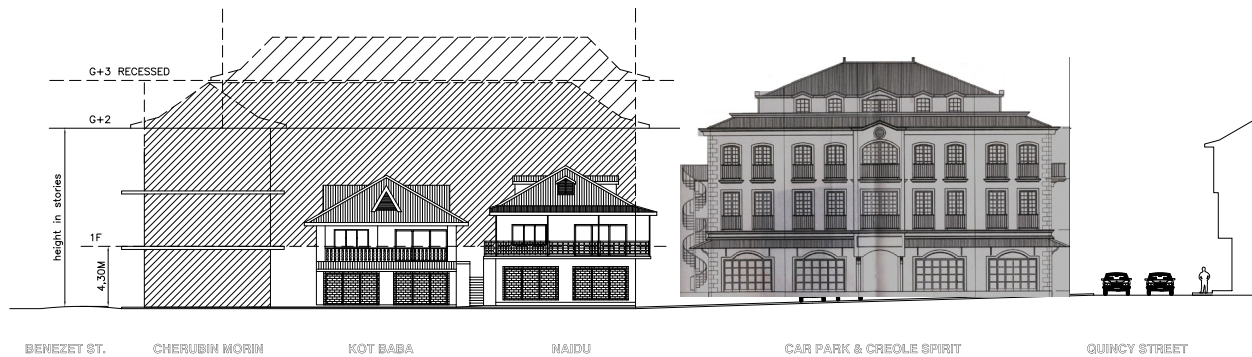
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# APPENDIX B (II) - MARKET STREET



ELEVATION OF THE NORTHERN SIDE WALK



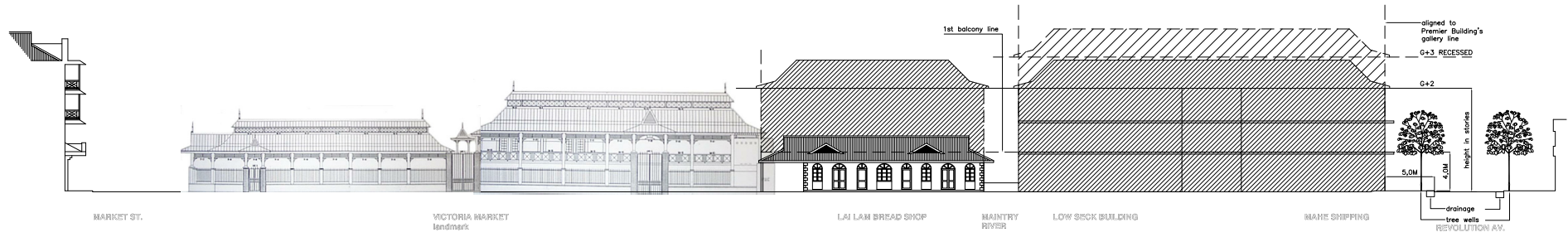
ELEVATION OF THE SOUTHERN SIDE WALK

BUILDING HEIGHT: VERTICAL EXTENT OF THE BUILDING MEASURED BY NUMBER OF STORIES, FROM THE ROAD LEVEL, AT CENTER LINE OF BUILDING, TO ROOF EAVES/CORNICE. ATTICS DO NOT COUNT AGAINST BUILDING HEIGHT LIMITATIONS.



<h2>PROPOSED URBAN GUIDELINES FOR VICTORIA-phase 1</h2>	<h3>MARKET STREET</h3> <p>2</p>	<p><b>PREPARED BY:</b>                  RUBEN BAQUERO                  Architect / Urban Designer                  MAY 2004</p>	 <p><b>MINISTRY OF LAND USE &amp; HABITAT</b>                  PHYSICAL PLANNING DIVISION</p> <p><small>Copyright © Worldwide M.L.U.H./P.P.D. - SEYCHELLES</small></p>
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# APPENDIX C - BENEZET STREET



ELEVATION OF THE EASTERN SIDEWALK



ELEVATION OF THE WESTERN SIDEWALK

BUILDING HEIGHT: VERTICAL EXTENT OF THE BUILDING MEASURED BY NUMBER OF STORIES, FROM THE ROAD LEVEL, AT CENTER LINE OF BUILDING, TO ROOF EAVES/CORNICE. ATTICS DO NOT COUNT AGAINST BUILDING HEIGHT LIMITATIONS.



PROPOSED URBAN GUIDELINES FOR VICTORIA-phase 1

BENEZET STREET

PREPARED BY:  
RUBEN BAQUERO  
Architect / Urban Designer  
MAY 2004

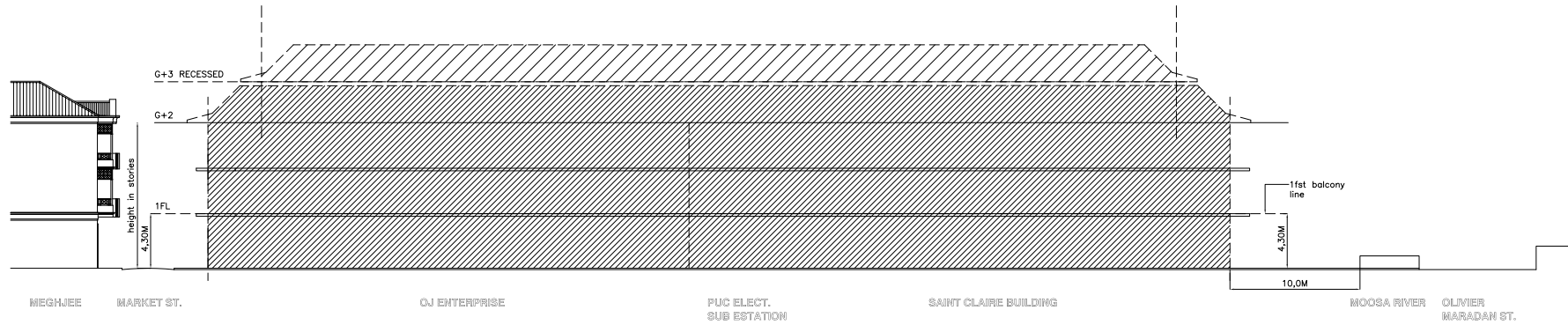


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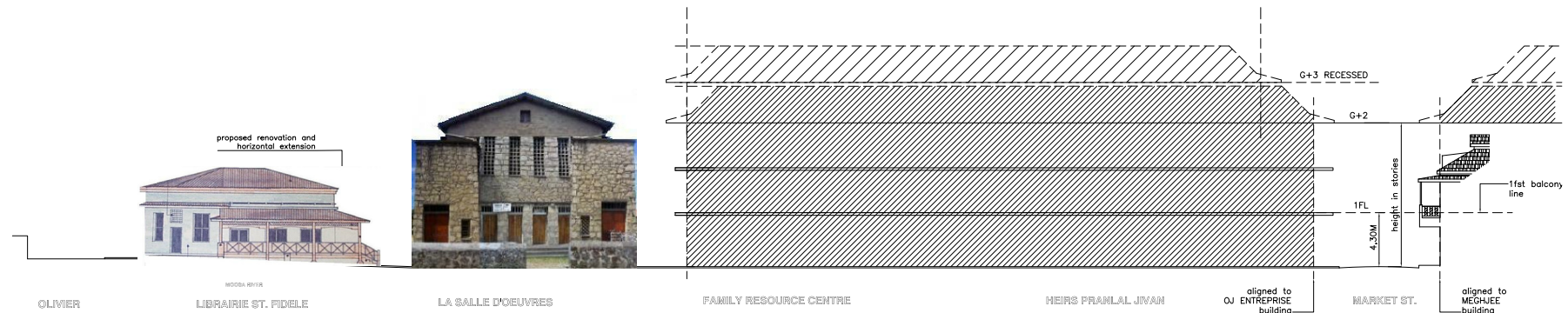
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# APPENDIX D- CHURCH STREET



ELEVATION OF THE WESTERN SIDEWALK



BUILDING HEIGHT: VERTICAL EXTENT OF THE BUILDING MEASURED BY NUMBER OF STORES, FROM THE ROAD LEVEL, AT CENTER LINE OF BUILDING, TO ROOF EAVES/CORNICE. ATTICS DO NOT COUNT AGAINST BUILDING HEIGHT LIMITATIONS.

ELEVATION OF THE EASTERN SIDEWALK

PROPOSED URBAN GUIDELINES FOR VICTORIA-phase 1

CHURCH STREET

PREPARED BY:  
RUBEN BAQUERO  
Architect / Urban Designer  
MAY 2004





**PROPOSED GUIDELINES FOR BUILDING  
FAÇADE IMPROVEMENTS :**

**V I C T O R I A**

**(ONGOING)**

## **PREFACE**

This project's main objective is to improve the appearance of some existing buildings in that area, to harmonize the coexistence between adjacent buildings and improve their general appearances. Compared to the previous proposal, this one aims at targeting each building individually.

Emphasis has been made on frontal facades, roofs and other architectural elements of the building. In most cases, no real structural changes are proposed, but certain improvements to the character and the usability of the buildings.

Through such a project, the planning authority would waive all planning fees upon the submission of applications for the rehabilitation of the buildings in line with the proposals made by the authority.

However, such proposals are not mandatory under any circumstances. The owners may choose to make such decisions upon their own discretion.

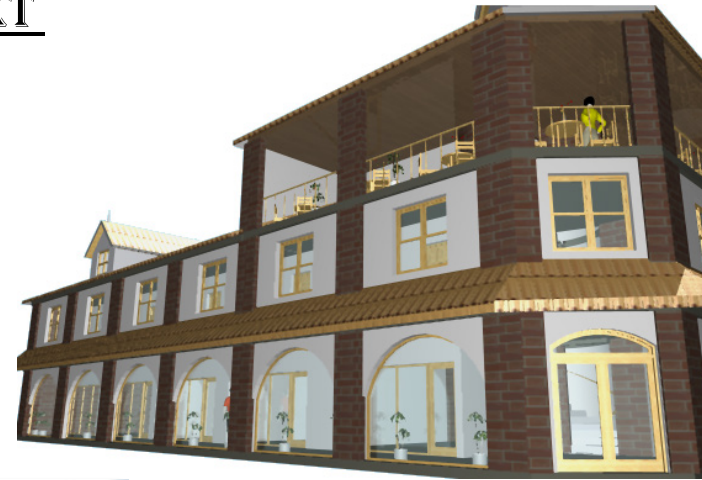
# MAISON DE MAHE ALBERT STREET



**EXISTING**



**PROPOSED**



**PROPOSED**



**EXISTING**



# SHAM PENG TONG

## ALBERT



**EXISTING**



**PROPOSED**



**EXISTING**



**PROPOSED**



# ABHAYE VALABJI PTY LTD

## REVOLUTION AVENUE



**EXISTING**



**PROPOSED**



**EXISTING**



**PROPOSED**



VICTORIA HOUSE  
FRANCIS RACHEL STREET



**EXISTING**



**PROPOSED**



**PROPOSED**

# SRINIVASAN CHETTY & SONS (PTY). LTD

## ALBERT STREET



**EXISTING**



**PROPOSED**



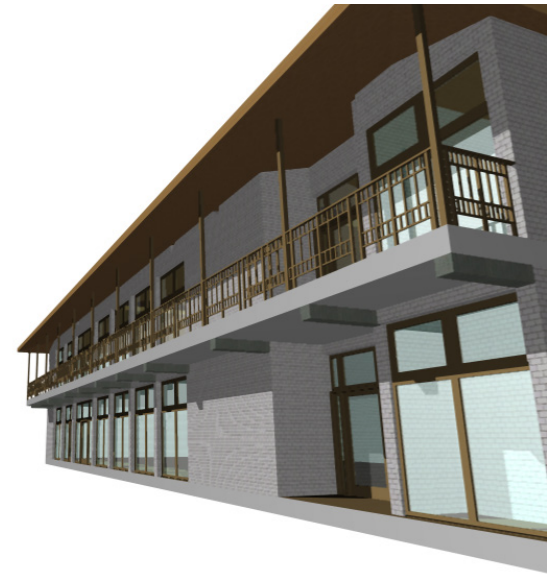
# HUTEAU LANE COMPLEX ALBERT STREET



**EXISTING**



**PROPOSED**



**EXISTING**



**PROPOSED**



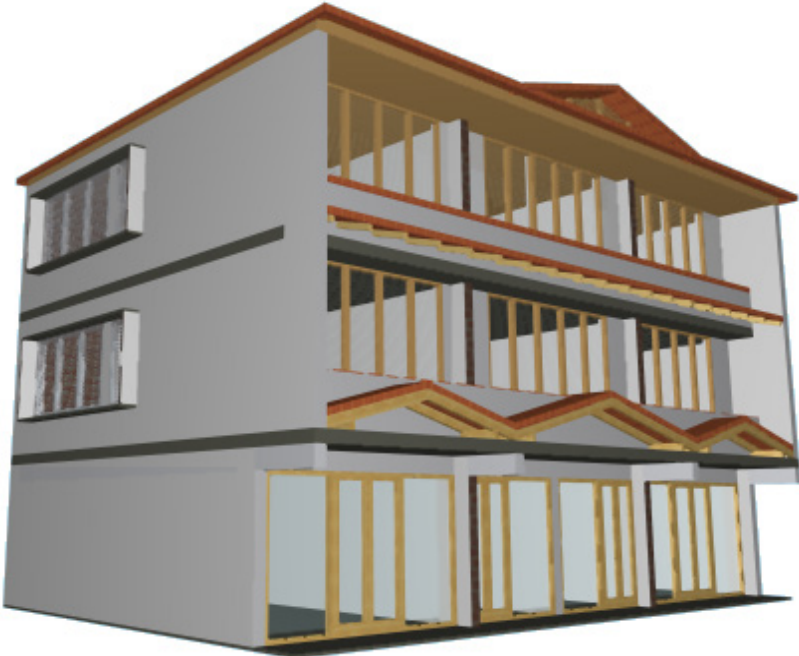
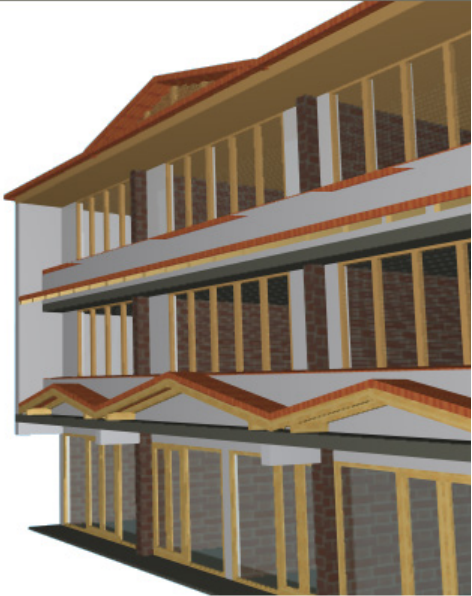
# STORY HOUSE REVOLUTION AVENUE



**EXISTING**



**PROPOSED**



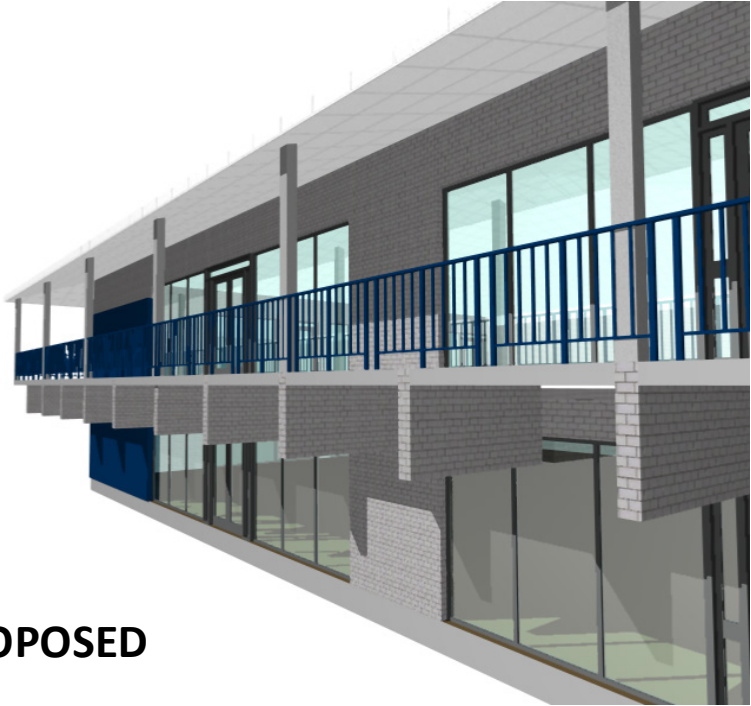
BARCLAYS BANK  
ALBERT STREET



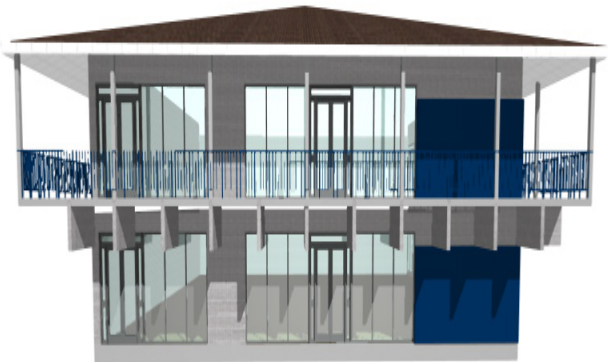
**EXISTING**



**PROPOSED**



**PROPOSED**



# SRINIVASAN CHETTY & SONS (PTY). LTD

## ALBERT STREET



**EXISTING**



**PROPOSED**



**PROPOSED**

# KINGS GATE HOUSE INDEPENDENCE AVENUE



**EXISTING**



**PROPOSED**



