

INSPECTION REPORT



For the Property at:
123 RUE ABCD
QC A0B 0C0

Prepared for: Jim Smith
Inspection Date: Wednesday, December 1, 2021
Prepared by: Hamed Khani, NACHI20082410



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SUMMARY REPORT

123 Rue ABCD , Montreal QC December 1, 2021

Report No. 1001, v.3

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SUMMARY R

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

APPENDIX

REFERENCE

Note: For the purpose of this report the building is considered to be facing **North**.

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Roofing

RECOMMENDATIONS \ General

Condition: • Any recommendations regarding personal safety are listed below (if applicable).

Condition: • All recommendation that required "further evaluation" by certified specialist must be performed before signing the notarized deed of sale

RECOMMENDATIONS \ Overview

Condition: • Typical asphalt shingles roof life expectancies range from about 12 years to 30 years, depending on the material (conventional asphalt shingles 12 - 15 years, top quality asphalt shingles 25 - 30 years).

Just keep monitoring the condition of the roof on a regular basis at least twice a year.

Note: Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced. We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize roof life.

SLOPED ROOF FLASHINGS \ General notes

Condition: • Inspect & repair, as needed.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior Roof

Task: Monitor

Time: Regular maintenance

SLOPED ROOF FLASHINGS \ Skylights

Condition: • [Curb - low, missing](#)

Low curb skylight - More prone to leak, no leakage observed at the time of inspection, according to seller skylight re-installed properly to be watertight. the glas special glazing not verified.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear Roof

Task: Monitor

Time: Ongoing

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Exterior

RECOMMENDATIONS \ General

Condition: • Any recommendations regarding personal safety are listed below (if applicable).

Condition: • All recommendation that required "further evaluation" by certified specialist must be performed before signing the notarized deed of sale

ROOF DRAINAGE \ Gutters

Condition: • [Missing](#)

Missing gutter and downspot extension to the lower roof.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear Roof

Task: Provide

Time: As soon as possible

ROOF DRAINAGE \ Downspouts

Condition: • [Discharge too close to building](#)

Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear Left

Task: Improve

Time: Immediate

WALLS \ Metal siding

Condition: • [Loose or missing pieces](#)

Implication(s): Chance of water damage to structure, finishes and contents

Location: Right Side Exterior Wall

Task: Correct

Time: Regular maintenance

EXTERIOR GLASS/WINDOWS \ Window wells

Condition: • [Less than 6 inches below window](#)

Window well recommended.

Implication(s): Chance of water entering building

Location: Left side

Task: Improve

Time: Less than 1 year

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes

Condition: • Poorly built

At the point where a beam meets a post, it must be properly connected to the post in order to resist gravity, lateral and uplift loads. This pertains to solid sawn beams or those composed of multiple members. In addition, the post base must be correctly attached to a footing in order to also resist lateral and uplift loads. Posts can lift out of pre-cast concrete piers, and piers simply resting above ground can slide, shift and settle over time. Proper footings/piers should be installed below ground, past the frost line to resist settlement and frost heave.

Implication(s): Weakened structure

Description

General: • IN THIS REPORT, THE INSPECTOR MUST OBSERVE, DESCRIBE AND MENTION:

- The material of the exterior wall coverings, the flashing;
- The inspector must operate the doors and a representative number of windows;
- The terraces, door stoop, staircases, steps, porches, railings, sidewalks, the parking area;
- The eaves, the soffits and the exterior fascia;
- The vegetation, or the surface drainage, the slope of the land which can be harmful to the building;
- The support walls attached to the house. • During the visual inspection we noted that:
- The condition of the exterior wall veneer brick had minor visual defects
- The condition of siding and trim had minor visual defects
- The permanent doors had no visual defects
- The permanent windows had no visual defects
- The moldings and flashings did not seem to have any defects at the time of the inspection.
- The electric garage door openers and safety devices did not seem to have any defects.
- The condition of vegetation, walkway and driveway not verified due snow coverage.
- The fascia and soffit were in good condition and did not seem to have any defects at the time of the inspection.
- The condition of the deck was found to have defects.
- Some cracks were discovered on the foundation wall.
- We discovered a number of problems with roof drainage system (Gutter & downspout)

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout discharge: • [Above grade](#)

Downspout discharge: • [Above grade](#)

Lot slope:

• [Away from building](#)

Front and Left side of building

• [Towards building](#)

Back and Right side of the building

Wall surfaces and trim: • [Metal siding](#)

Wall surfaces - masonry: • [Brick](#)

Driveway: • Asphalt

Walkway: • Concrete

Garage: • Attached

Garage vehicle door operator: • Present

Limitations

General: • THE INSPECTOR WILL NOT OBSERVE, INSPECT OR COMMENT ON:

- Screening, shutters, canopies, fences, storm doors, storm windows, outbuildings or outdoor lighting, and seasonal accessories;
 - Sealing (waterproofing) and thermal insulation of double-glazed windows;
 - Safety screens;
 - Recreational installations, whirlpool baths, saunas and other similar equipment;
 - Geological, geotechnical, hydrological conditions or the state of the soil;
 - Dams, retaining walls and docks beside water courses;
 - Underground infrastructure;
 - Wells and water quality;
 - Any underground buried components, including weeping fields, underground tanks and reservoir, wells and underground piping, drainage piping, systems and foundation drains.
- - The condition of walkway and driveway not verified due snow coverage.

Inspection limited/prevented by: • New finishes/paint/trim • Storage in garage • Snow / ice / frost

Exterior inspected from: • Ground level

Recommendations

RECOMMENDATIONS \ General

- 7. Condition:** • All exterior sealants around holes and other openings should be in good condition. Fissuring, poor adherence and/or the absence of sealant are indications of a high potential risk of water infiltration and damage. The condition of the sealant should be verified regularly and proper maintenance is appropriate.
- 8. Condition:** • Once a year we recommend applying petroleum based lubricant to rubber, vinyl or neoprene weather stripping to maintain its flexibility. Replace stripping once it has become brittle dried out or has lost its flexibility.
- 9. Condition:** • In order to avoid condensation on the inner surface of windows, it is recommended that the screens be removed during the winter, that the curtains and Venetian blinds be kept open during the day to allow warm air to circulate over the surface of the window, and that an acceptable rate of humidity be maintained in the residence by using mechanical ventilators as required.
- 10. Condition:** • Vinyl and metal siding are extremely popular because they require less periodic maintenance than other types of siding materials. However, it is still necessary for the homeowner to periodically at least once a year. Carefully examine siding panels as well as ensure all J-channels around windows and doors are secure and drain properly. Vinyl and metal siding should be cleaned following the manufacturer's instructions.
- 11. Condition:** • Basement leakage is often caused by conditions on the exterior of the home. Basements are not built like boats, and if water is allowed to collect outside of foundation walls, it will leak through into the basement. It is important that gutters and downspouts collect roof water and carry it away from the house. Similarly, Lot grading around the house should slope down away from the building so that surface water from rain and melting snow is directed away from the building, rather than toward the foundation.

SUMMARY R	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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12. Condition: • Any recommendations regarding personal safety are listed below (if applicable).

13. Condition: • All recommendation that required "further evaluation" by certified specialist must be performed before signing the notarized deed of sale

ROOF DRAINAGE \ Gutters

14. Condition: • [Missing](#)

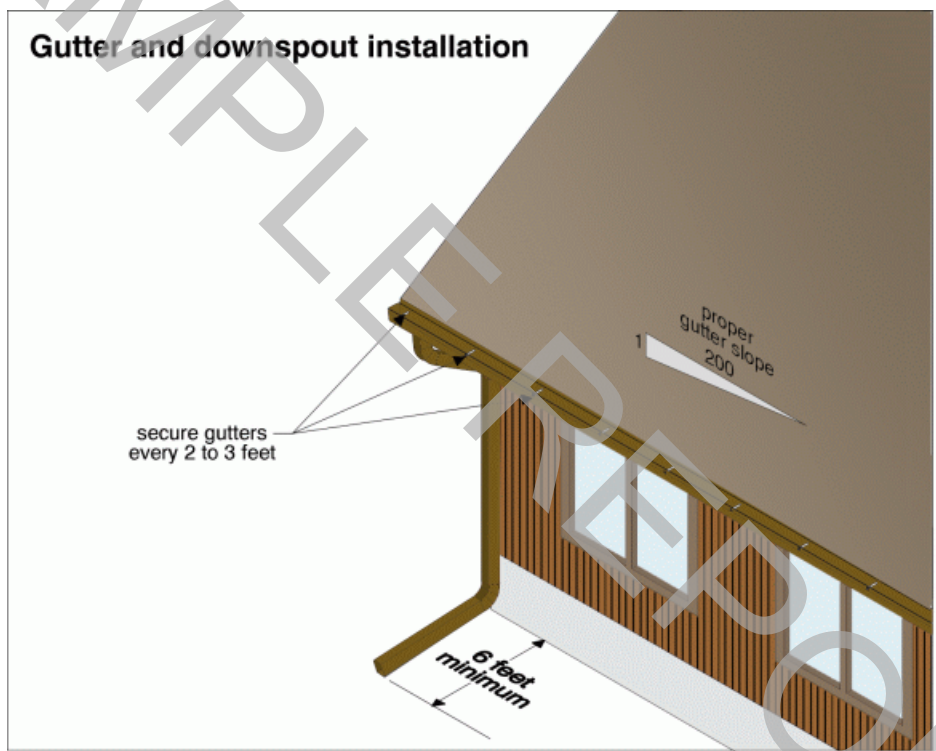
Missing gutter and downspout extension to the lower roof.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear Roof

Task: Provide

Time: As soon as possible



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3. Missing

ROOF DRAINAGE \ Downspouts

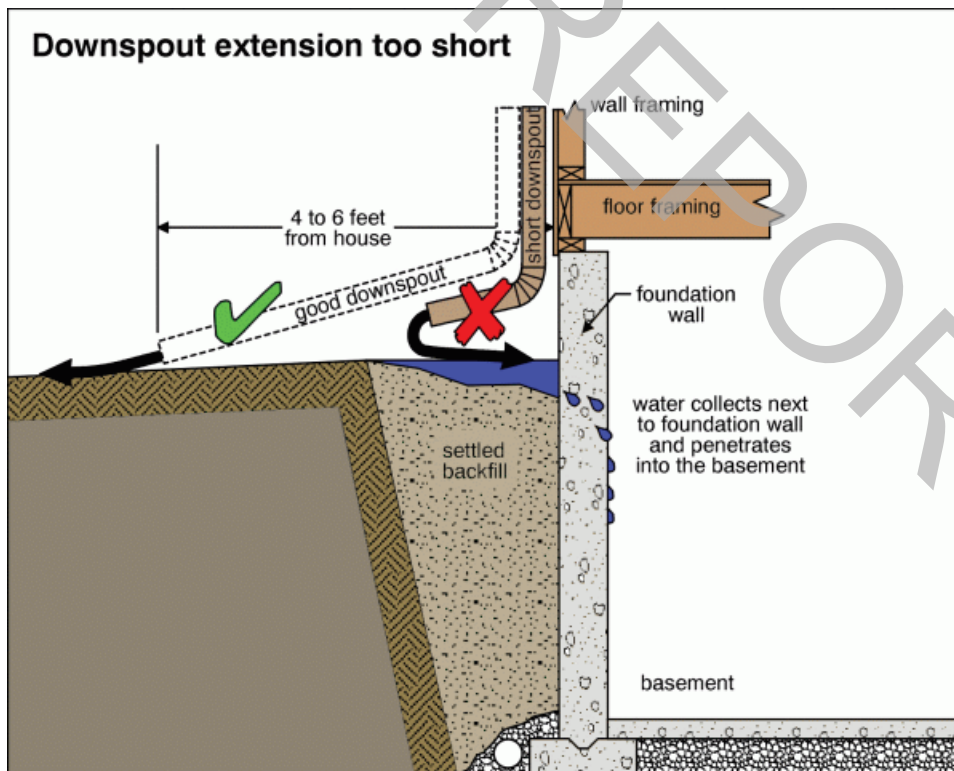
15. Condition: • [Discharge too close to building](#)

Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear Left

Task: Improve

Time: Immediate



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4. Discharge too close to building

5. Discharge too close to building



6. Discharge too close to building

WALLS \ Metal siding

16. Condition: • [Loose or missing pieces](#)

Implication(s): Chance of water damage to structure, finishes and contents

Location: Right Side Exterior Wall

Task: Correct

Time: Regular maintenance

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7. Loose or missing pieces

8. Loose or missing pieces

EXTERIOR GLASS/WINDOWS \ Window wells

17. Condition: • [Less than 6 inches below window](#)

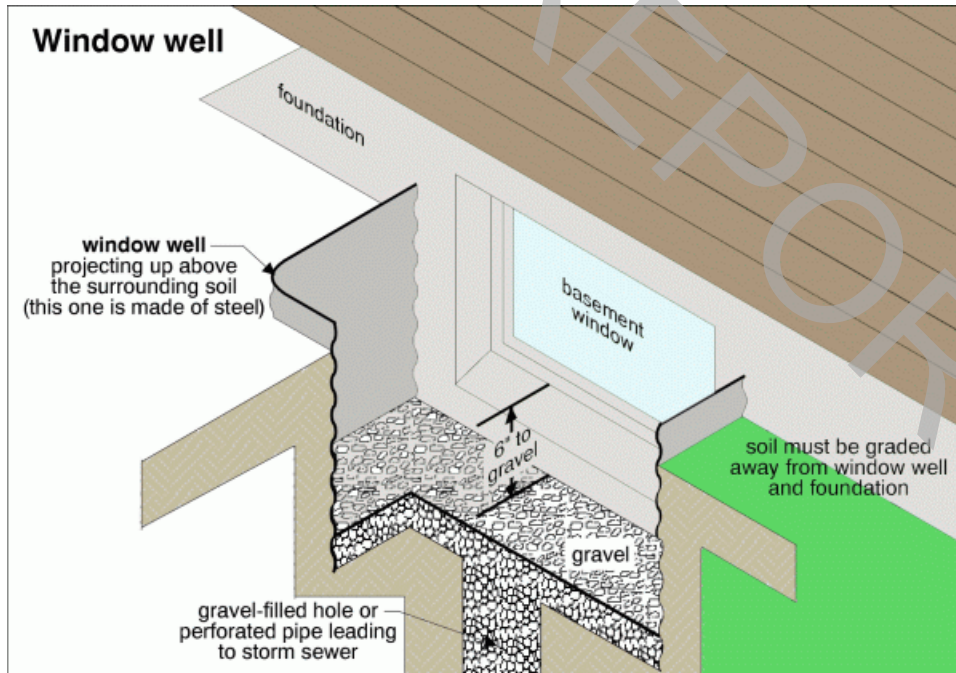
Window well recommended.

Implication(s): Chance of water entering building

Location: Left side

Task: Improve

Time: Less than 1 year



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9. Less than 6 inches below window

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes

18. Condition: • Poorly built

At the point where a beam meets a post, it must be properly connected to the post in order to resist gravity, lateral and uplift loads. This pertains to solid sawn beams or those composed of multiple members. In addition, the post base must be correctly attached to a footing in order to also resist lateral and uplift loads. Posts can lift out of pre-cast concrete piers, and piers simply resting above ground can slide, shift and settle over time. Proper footings/piers should be installed below ground, past the frost line to resist settlement and frost heave.

Implication(s): Weakened structure

Location: Rear Exterior

Task: Further evaluation

Time: Immediate



10. not secured at bottom



11. Poorly secured at top & bottom:At the...

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12. Poorly secured at top & bottom:At the...

13. Poorly secured at top & bottom:At the...

19. Condition: • [Wood/soil contact](#)

Implication(s): Rot | Insect damage

Location: Exterior Yard

Task: Improve

Time: Unknown



14. Wood/soil contact

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

20. Condition: • [Missing](#)

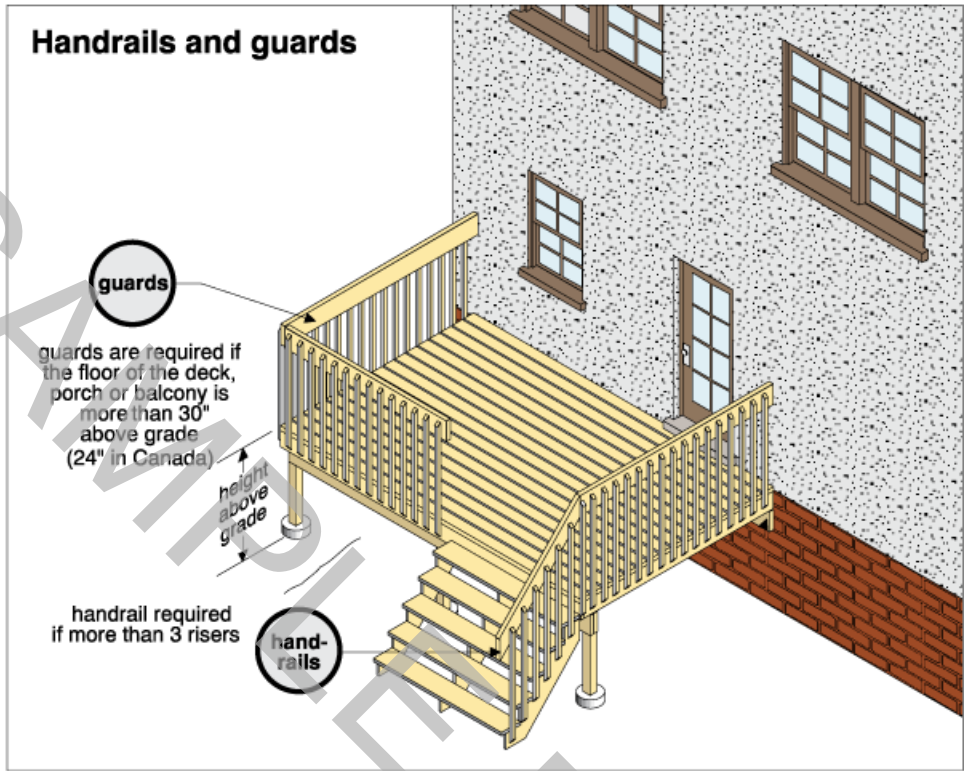
Implication(s): Fall hazard

Location: Exterior Yard

Task: Provide

Time: Immediate

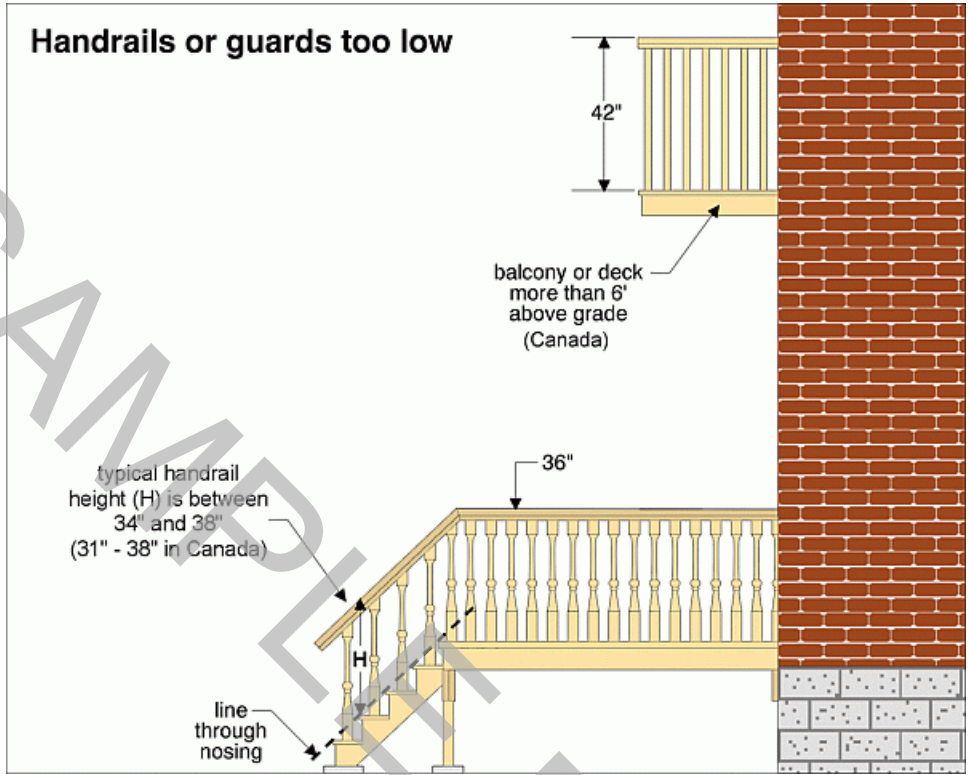
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15. Missing

21. Condition: • [Too low](#)
Implication(s): Fall hazard
Location: Exterior Yard
Task: Improve
Time: Immediate

SUMMARY R	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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16. Too low

LANDSCAPING \ Lot grading

22. Condition: • [Improper slope or drainage](#)

Implication(s): Chance of water damage to structure, finishes and contents

Location: Front

Task: Improve

Time: As soon as possible

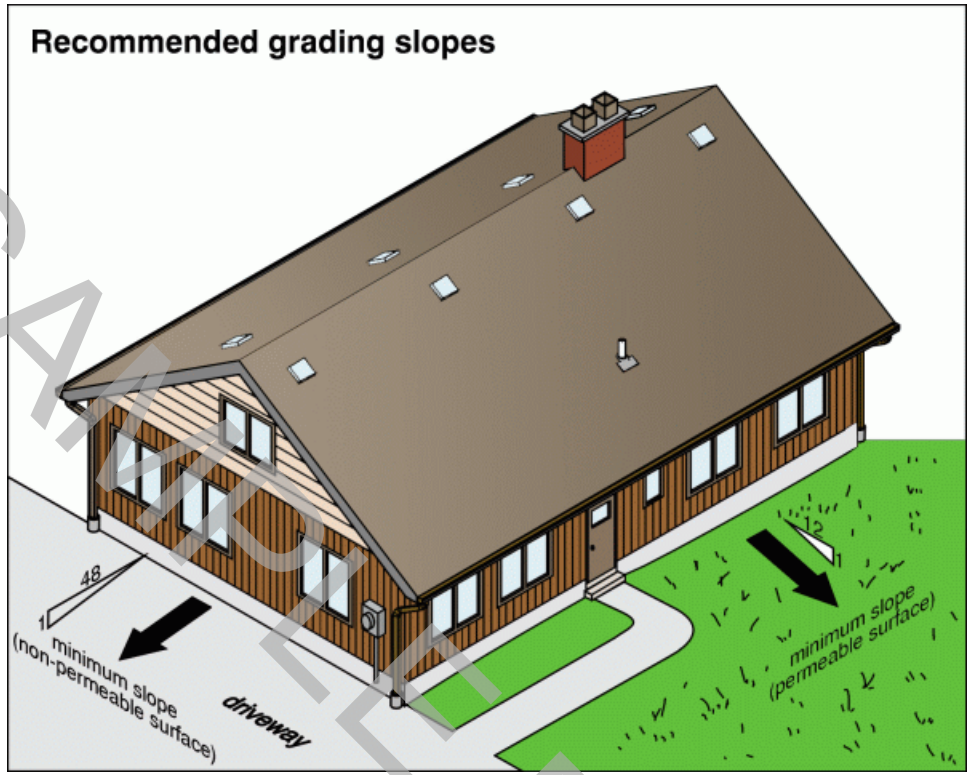
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17. Lot slop Toward Building

GARAGE \ Floor

23. Condition: • [Cracked](#)

Implication(s): Uneven floors

Location: Garage

Task: Repair

Time: Regular maintenance

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18. Cracked

GARAGE \ Door into garage / Man-door

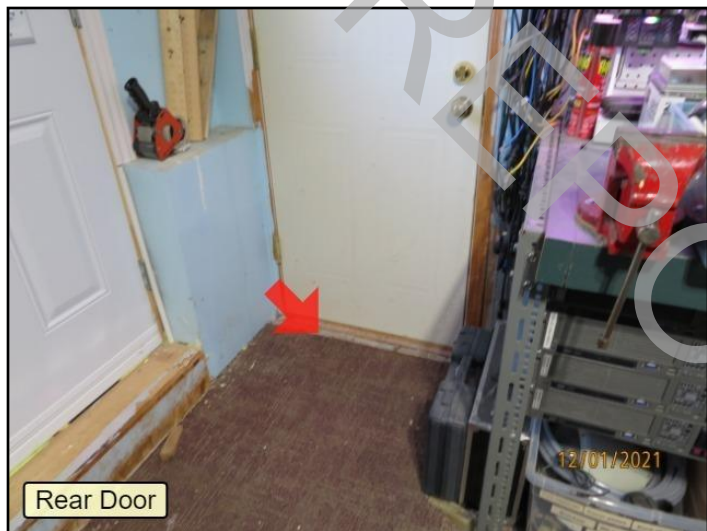
24. Condition: • [No step up into building](#)

Implication(s): Increased fire hazard

Location: Rear Garage

Task: Improve

Time: Immediate



19. No step up into building

Description

General: • IN THE REPORT, THE INSPECTOR MUST OBSERVE, DESCRIBE AND MENTION:

- The foundations;
 - The floors;
 - Beams;
 - Columns;
 - Walls;
 - Roofs.
- The inspector must probe a representative number of structural components which appear to have deteriorated except whereby doing so a component could be further damaged.
- The inspector must enter the crawl space and the attic when the open area is of a reasonable size, healthy and safe and does not require the use of tools.

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#)

Floor construction: • [Joists](#) • Slab - concrete

Exterior wall construction: • [Wood frame / Brick veneer](#)

Roof and ceiling framing: • [Trusses](#)

Roof and ceiling framing: • Oriented Strand Board (OSB) sheathing

Limitations

General: • SPECIAL EXCLUSIONS: THE INSPECTOR DOES NOT HAVE TO:

- Offer any engineering or architectural service or any other form of specialized analysis;
- Offer an opinion on the capacity or expected performance of the structural system.

Pictures in this partition are representing only the samples of the structural issues noted (if applicable).

Inspection limited/prevented by: • Ceiling, wall and floor coverings • Carpet/furnishings • Storage • New finishes/paint

Attic/roof space:

- Inspected from access hatch
- No access

Limited access to the garage attic hatch.

Percent of foundation not visible: • 95 %

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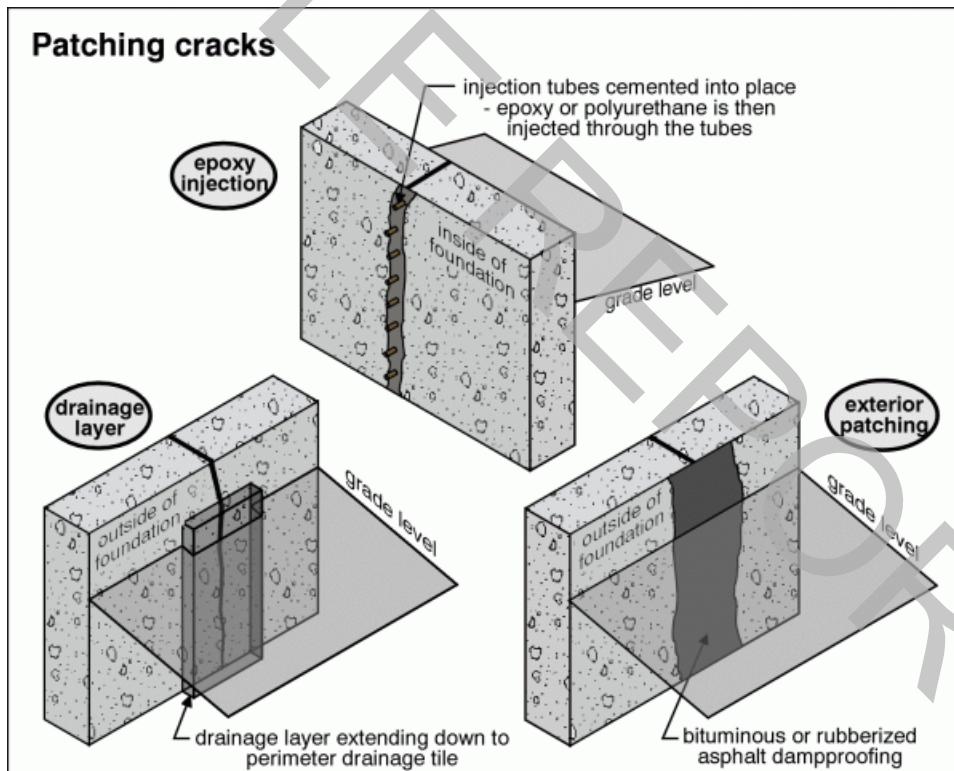
Recommendations

RECOMMENDATIONS \ General

- 25. Condition:** • No permits or paperwork was shown during the inspection. It is recommended to obtain all permits and invoices for all structural repairs.
- 26. Condition:** • Any recommendations regarding personal safety are listed below (if applicable).
- 27. Condition:** • All recommendation that required "further evaluation" by certified specialist must be performed before signing the notarized deed of sale

FOUNDATIONS \ General notes

- 28. Condition:** • Typical minor cracks
Repair if needed
- Implication(s):** Chance of water entering building
- Location:** Various Exterior
- Task:** Further evaluation Monitor
- Time:** Regular maintenance



SUMMARY R	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Crack repair - epoxy and polyurethane injection

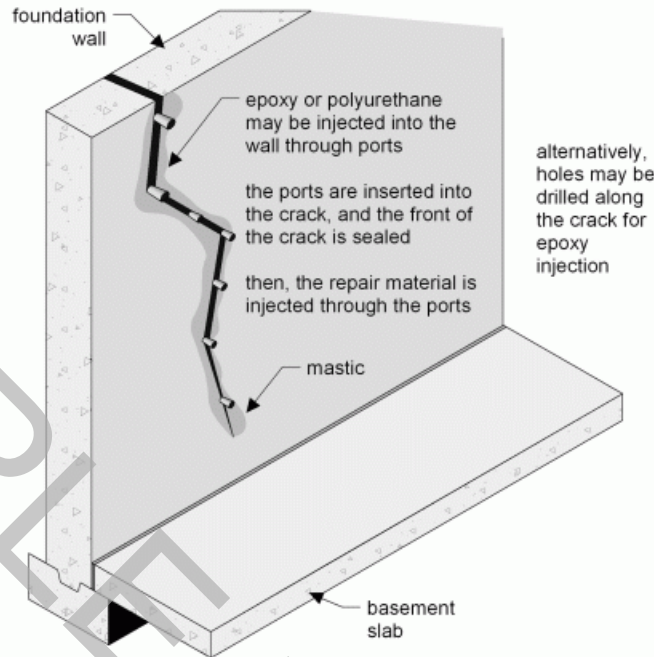
polyurethane is flexible and is not a structural repair, however, it can prevent leakage

it starts out with low viscosity, then expands within the crack

do-it-yourself crack repair kits usually feature polyurethane foam

epoxy is as strong as concrete and forms a structural seal

however, it hardens slowly, and if there is space at the back of the crack, it may leak out



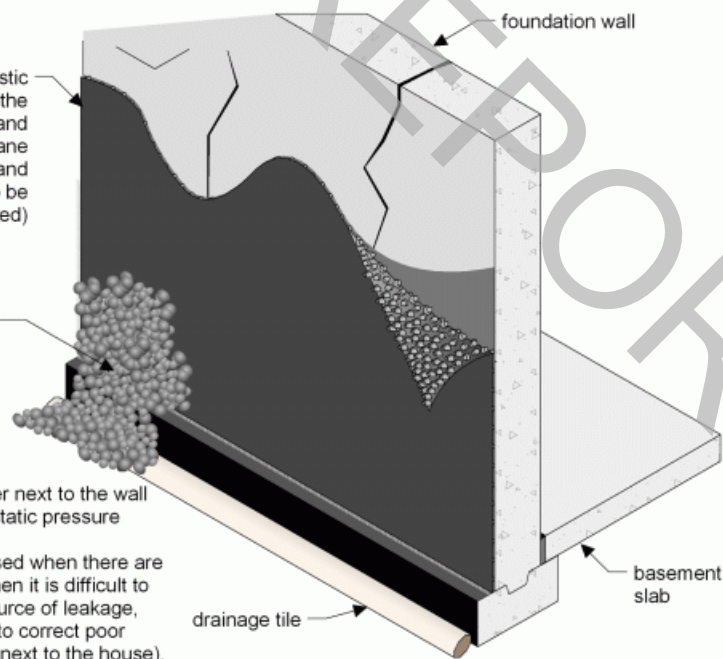
Crack repair - drainage layer

dimpled plastic membrane protects the wall from moisture and provides drainage plane (other membranes and methods may also be used)

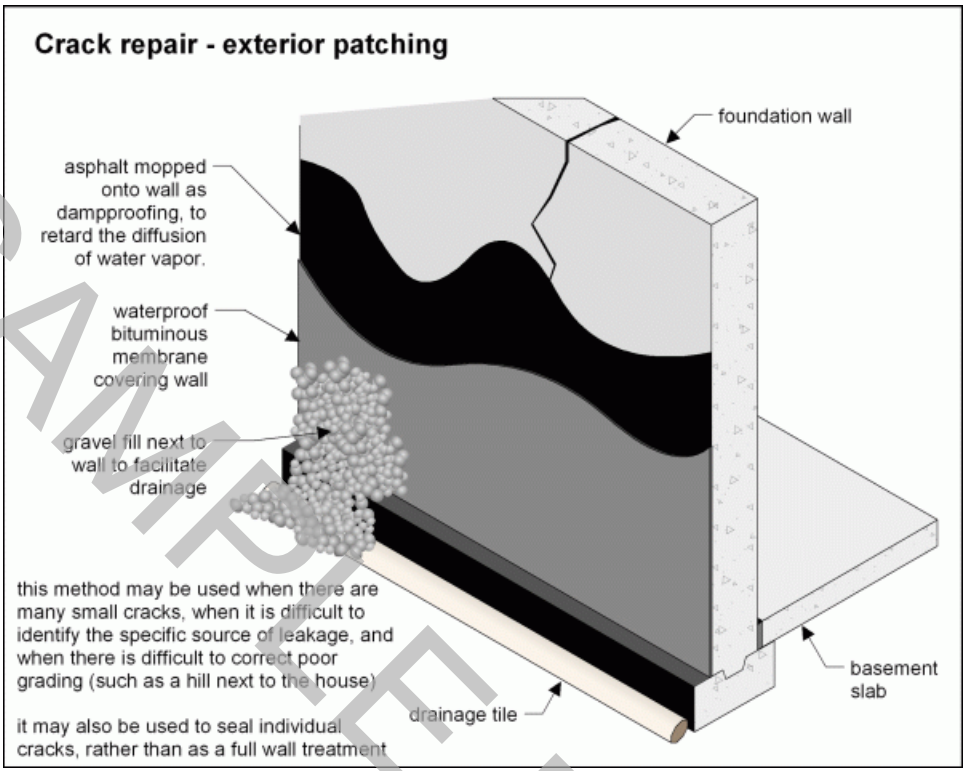
gravel fill next to wall to facilitate drainage

adding a drainage layer next to the wall helps to relieve hydrostatic pressure

this method may be used when there are many small cracks, when it is difficult to identify the specific source of leakage, and when it is difficult to correct poor grading (such as a hill next to the house).



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20. Crack



21. Crack

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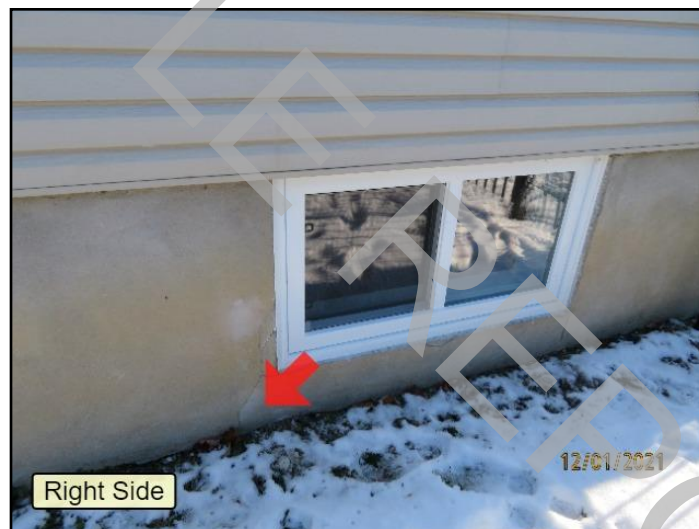
SUMMARY R	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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22. Crack



23. Crack



24. Cracked

29. Condition: • [Not well secured](#)

According to seller, part of foundation reworked to re-position basement windows, addition section seems has cold joints, voids and may not secured well, upper part of foundation wall need to be filled and bare wall to be covered with parging. please ask seller for documentation.

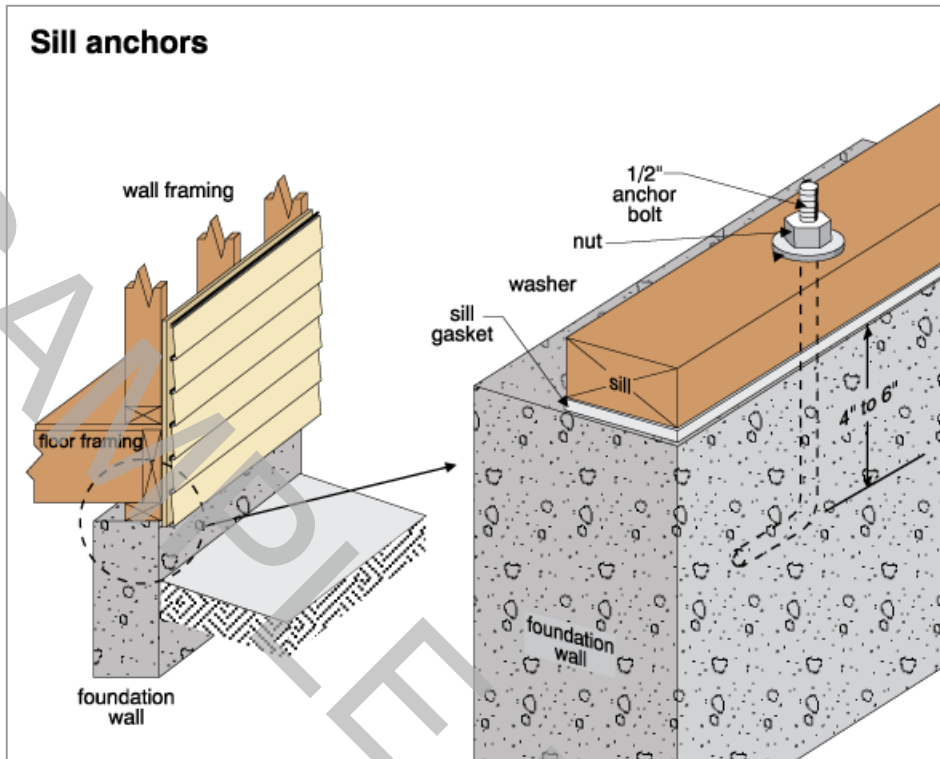
Implication(s): Weakened structure | Chance of structural movement

Location: Right Exterior

Task: Further evaluation

Time: Immediate

SUMMARY R	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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25. Foundation rework

30. Condition: • [Prior repairs](#)

Part of foundation wall cut and re-constructed to accommodate new basement window arrangement. Ask seller for permission and any structural evaluation.

Implication(s): Weakened structure

Location: Right Side Exterior

Task: Monitor

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Time: Regular maintenance



26. *Plarging missing- prior repair*

31. Condition: • [Plarging damaged or missing](#)

Implication(s): Chance of damage to structure | Shortened life expectancy of material

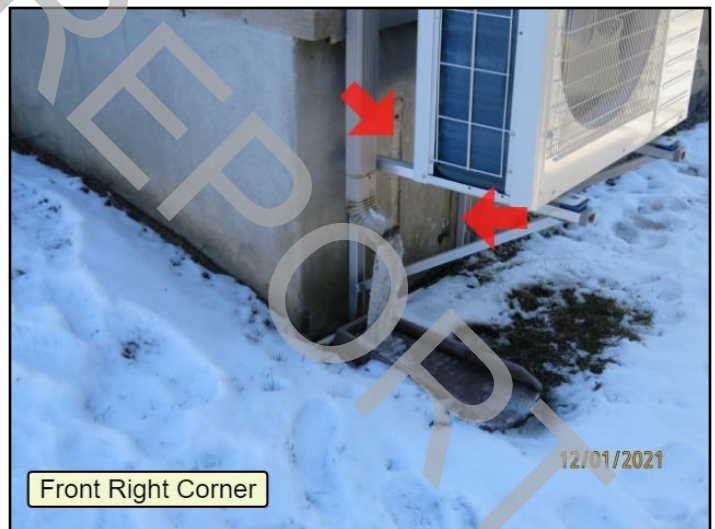
Location: Various Exterior Wall

Task: Repair

Time: As soon as possible



27. *Plarging damaged or missing*



28. *Plarging damaged or missing*

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29. *Parging damaged or missing*



30. *Parging damaged or missing*



31. *Parging damaged or missing*



32. *Parging damaged or missing*

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33. *Grouting damaged or missing*

34. *Grouting damaged or missing*



35. *Grouting damaged or missing*

36. *Grouting damaged or missing*

WALLS \ Masonry veneer walls

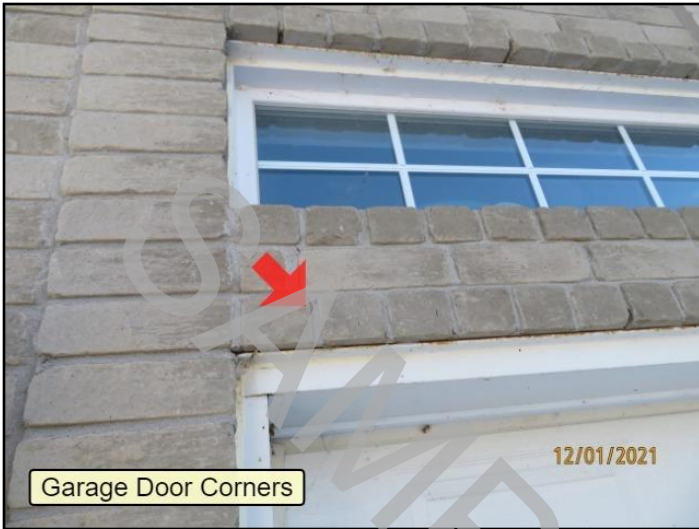
32. **Condition:** • Typical minor cracks

Location: Various Front Exterior Wall Garage

Task: Repair

Time: Regular maintenance

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37. Typical minor cracks



38. Typical minor cracks



39. Typical minor cracks



40. Typical minor cracks

WALLS \ Lintels

33. Condition: • [Rust](#)

Implication(s): Weakened structure | Chance of structural movement

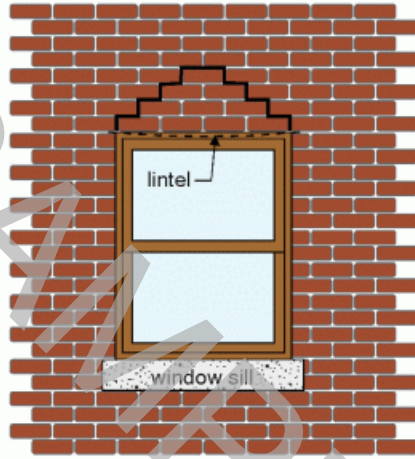
Location: Various Front Exterior Wall

Task: Repair

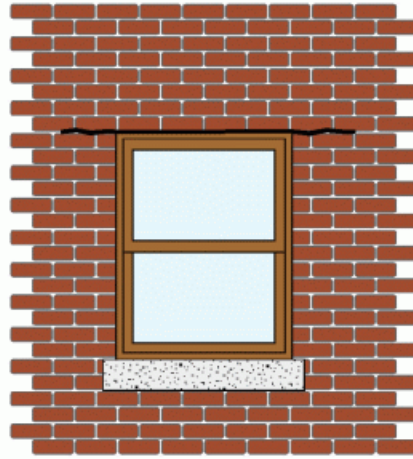
Time: Regular maintenance

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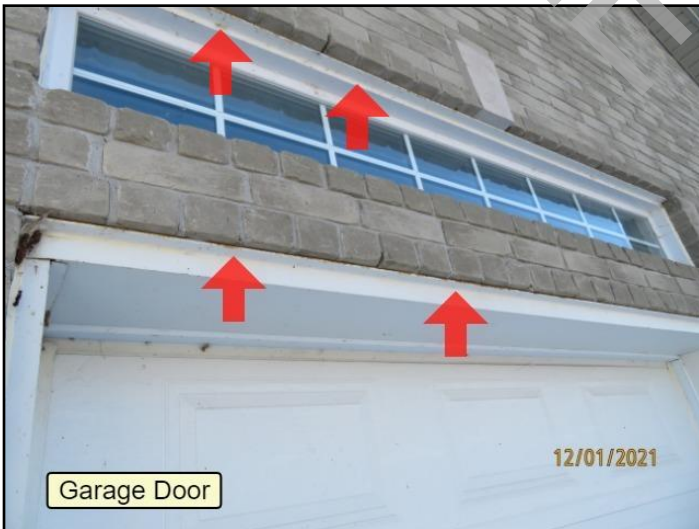
Lintel related wall cracks



crack pattern commonly associated with sagging lintels due to undersizing or deterioration



horizontal crack often caused by rusting steel lintels expanding



41. Rust



42. Rust

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43. Rust

44. Rust

ROOF FRAMING \ Knee walls/purlins

34. Condition: • [Poor connections](#)

Purlins poor connection

Implication(s): Weakened structure | Chance of structural movement

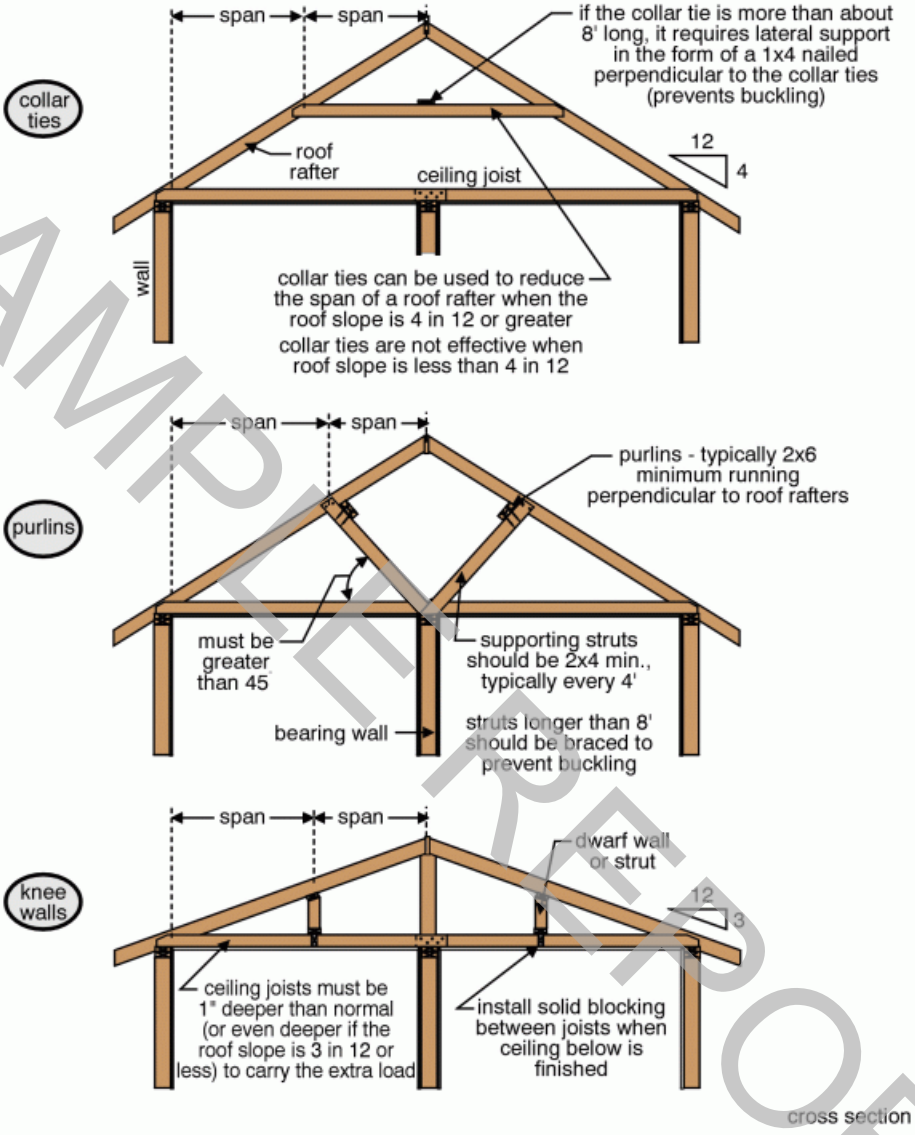
Location: Rear Attic

Task: Correct

Time: As soon as possible

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Methods of reducing rafter spans



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SITE INFO	APPENDIX	REFERENCE							



45. *Poor connections*

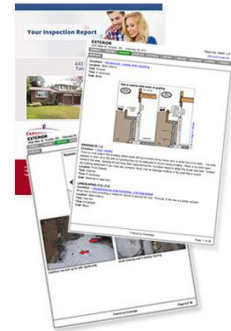
SAMPLE REPORT

Reading Your Report

The purpose of the report is to help a prospective buyer make an informed decision about the house they are interested in. The report will document the current condition, and identify any impending repairs, based on a visual inspection of the home.

How the report works

This report provides a comprehensive package which simplifies buying and owning a home. The report can identify things at a glance, or provide in-depth explanations. It can identify maintenance items and can even act as a work order for contractor repairs.



Easy to navigate and find information.

Tabs for each home system are labeled and color coded at the top of the report pages, clicking on any tab will take you directly to that system or scroll through page by page.

Easy to read and understand.

This report is organized in 3 layers

1. Provide the BIG picture!

An executive summary addressing significant issues to help you make a purchasing decision. You should read the full report to get the whole picture.

2. Once you've moved in!

Outline of major and minor issues, where appropriate helping to protect your investment.

3. When you need the precise details!

Color illustrations and links to reference articles helping you understand all of the components of your house.

Added benefits:

- Electronic .PDF file report is secure and universally readable on any computer (free Adobe reader available online). Print if you want.
- Clear, colorful illustrations to exemplify conditions.
- Articles that explain technical issues in plain words.
- It's Green! Environmentally friendly, ink and paper free report.

Report features

- You will receive an email with your Inspection Report Link. Click to open.
- Save your report to your computer or CDrom. View anytime using Adobe reader.
- Print or email the report as needed.

Print or Save a copy of your report to your computer.

Click any of the Color coded tabs to navigate to a section of the report.

'Click' on Hyperlinks to open technical articles for detailed information.

The screenshot shows a technical article with sections for 'Back', 'PROBLEMS WITH JOISTS SUPPORTING FLOORS - NOTCHES HOLES AND THINGS THAT DAMAGE JOISTS', 'Checklist', 'Strategic', and 'Judge The Performance'. It includes a diagram of a joist with notches and holes.

Full color illustrations. Click to enlarge image.

Navigate page by page.

The screenshot shows the Adobe Reader interface with a report titled 'STRUCTURE'. It features a navigation bar with tabs for SUMMARY, ROOFING, EXTERIOR, STRUCTURE, ELECTRICAL, HEATING, COOLING, INSULATION, PLUMBING, and INTERIOR. The main content area includes sections for DESCRIPTION, LIMITATIONS, and RECOMMENDATIONS. A technical illustration titled 'Joist notching and drilling' shows a cross-section of a joist with notches and holes, with labels for 'effective notch depth', 'maximum hole diameter', and 'maximum notch depth at end of joist'. The footer of the page reads 'At XYZ Home Inspections, a great inspection is only the beginning. Page 8 of 30'.

SUMMARY R

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

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REFERENCE

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS