




KH
 DESIGNS INC.
 Kevin Halchuk
 M.Arch

C U S T O M D E S I G N
 5325 Buchanan Road, Peachland, BC Canada V0H 1X1
 Ph. 250-767-0340 Fax. 250-448-1955
 Carlsbad Ca. Toll Free: 760-477-7383

Vancouver B.C. Toll Free: 604-288-7752

E-mail: KHDesignsinc@yahoo.com

KH Designs Inc.

Kevin Halchuk B.A. M Arch.

Education:

Master of Architecture
University Of Oregon 1993

Bachelor Of Arts
University of British Columbia 1988

Experience: Intern Architect 1993-2000

Hemingway Nelson Architects Vancouver BC

Ong Residence
McCleery Golf Course Clubhouse
MSA Hospital
Furry Creek Golf and Country Club
Rashid Residence
Vancouver General Hospital

Gomberoff Policzer Bell Architects Vancouver BC

Glacier's Reach Condominiums
Several Townhouse and Condominium Projects

Dikeakos and Cotter Architects Vancouver BC

Willow Creek Condominiums
Several Townhouse and Condominium Projects

Downs Archambault Architects Vancouver BC

Kwantlen College Surrey Campus
Ladner Pioneer Public Library

DGBK Architects Vancouver BC

Nakashima Residence
Surrey Sports and Leisure Complex
Burnaby Lake Sports and Leisure Complex
Kirkbride, Beaver Creek, James Hill, Janice Churchill Schools
Whistler Chapel

Brigitte Loranger Architecture and Planning Whistler BC

Layton Residence, Higgins Residence, Brand Residence
Pioneer Junction Multi-Use Project

Experience: Design/ Project Manager 2000 - 2001

Don Edson Architect San Diego California

Abbott Residence, Hale Residence

John Beery Architect San Diego California

Hasse, Residence, Wallace Residence,
Cohen/Gordon Residence, Brennen Residence

KJH Designs Inc. (Custom Residential/ Commercial Design)
San Diego California 2001-2005

	Size	Style
Enkerlin Residence Escondido Ca.	4500 s.f.	Tuscan
Laikind Pool Cabana Carlsbad Ca.	1000 s.f.	Tuscan
Berman Pool Cabana Encinitas Ca.	1200 s.f.	Tuscan
Martin Kitchen Remodel and Addition Del Mar Ca.	2000 s.f.	Craftsman
Beck Residence Renovation La Jolla Ca.	1800 s.f.	W.C.Contemp.
Anaheim Library Renovations Anaheim Ca.	4000 s.f.	
Best Western Renovation Carlsbad Ca.		Craftsman
Beach Terrace Renovations Carlsbad Ca.		Craftsman
Scott Residence Carlsbad Ca.	1200 s.f.	Craftsman
Rough Residence Vista Ca	4300 s.f.	W.C.Contemp.
Garfield St. Residence Carlsbad Ca.	4800 s.f.	Craftsman
Jackson Residence Bonsall Ca	4500 s.f.	W.C.Contemp.

References:

Barbara Howard Jones (Owner Best Western and Beach Terrace Inn)
760-729-2230

Mary Lynn Jackson (Jackson Residence)
818-613-6878

Roger Beck (Beck Residence Renovation)
858-274-2613

Bill Rough (Rough Residence)
760-500-9796

KH Designs Inc. (Custom Residential/ Commercial Design)
Kelowna BC 2005-2009

	Size	Style
Jahura Residence Kelowna BC	5000 s.f.	Craftsman
Rusty's Bar and Grill Kelowna BC	3000 s.f.	
Scepanovic Residence Kelowna BC	5500 s.f.	Tuscan
Marshall Residence Kelowna BC	5900 s.f.	Tuscan
Malcolm Residence Kelowna BC	5900 s.f.	West Coast Contemporary
Button Residence Salmon Arm BC	6000 s.f.	<i>addition</i> Craftsman
Casey Residence Kelowna BC	4500 s.f.	Craftsman
Budd Residence Winfield BC	5000 s.f.	West Coast Contemporary
Lewis Residence Kelowna BC	5700 s.f.	West Coast Contemporary
Peters Residence Kelowna BC	5000 s.f.	<i>addition</i> West Coast Contemp.

References:

Miki Jahura (Jahura Residence)
250-870-6460

Richard Kempe (Azteck Construction)
250-869-7217

Ken Malcolm (Malcolm Residence)
250-870-8020

Bob Marshall (Marshall Residence)
780-990-0310

Dave Button (Button Residence)
250-833-4959

Thank you,



Kevin Halchuk




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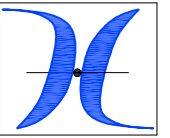
E-mail: KHDesignsinc@yahoo.com



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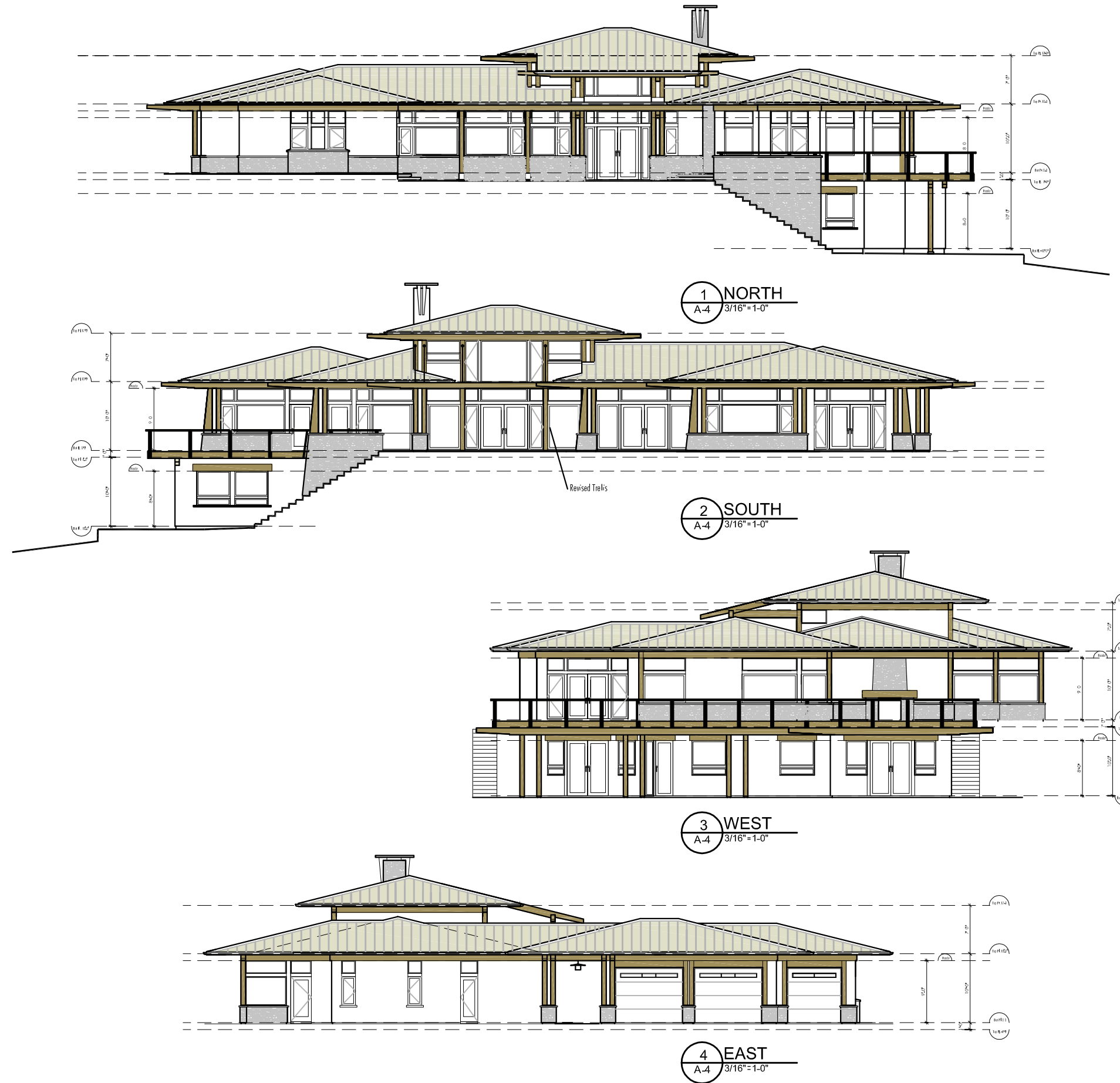
E-mail: KHDesignsinc@yahoo.com



KH
DESIGNS INC.

CUSTOM
RESIDENTIAL
DESIGN

#4 246 LAWRENCE AVE.
KELOWNA
BC V1Y 6L3
250-869-0321



LEWIS
Residence

DRAWN BY: KJH

PROJECT : 063-07
FILE:

ISSUE DATE
Drawing Issued 5/22/07

Proposed
Elevations

A-4



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DESIGNS

CUSTOM
RESIDENTIAL
DESIGN

5325 BUCHANAN ROAD
PEACHLAND
BC V0H 1X1
250.767.0340

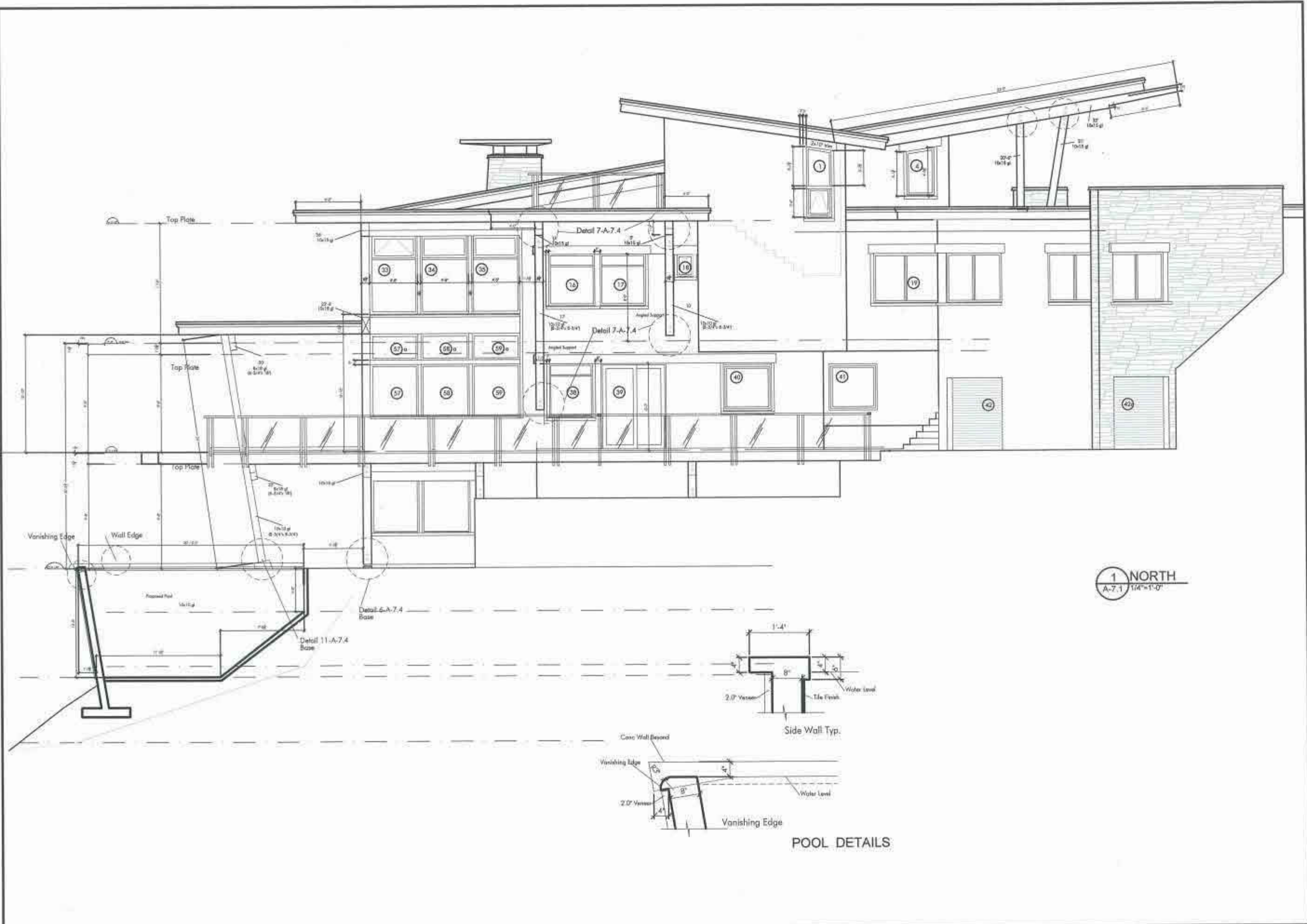
Malcolm
Residence

Lot 31
Plan 13335
District Lot 539, O.D.Y.D.

DRAWN BY: KH
PROJECT: 022-08
FILE:
ISSUE: DATE
12/02/09

Elevation

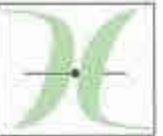
A-7.1



1 NORTH
A-7.1 1/4"=1'-0"

Side Wall Typ.

POOL DETAILS



KH
DESIGNS INC.

CUSTOM
RESIDENTIAL
DESIGN

5325 BUCHANAN ROAD
PEACHLAND
BC V0H 1X1
250.767.0340

Malcolm
Residence

Lot 31
Plan 13335
District Lot 539, O.D.Y.D.

DRAWN BY: KH
PROJECT: 022-06
FILE:
ISSUE: DATE
10/16/08

Elevation

A-7.2

Specifications:

Roof: Slopes Specified on Roof Plan
25 Year Class A Malarkey Asphalt Shingles or Built up Waterproof Roofing Membrane (Flat roofs)
Over two layers Roofing Felt
7/16" OSB Ply w/ N-Ups as required
Engineered Trusses @ 24" O.C.
(2x6's @ 24" w Engineered Ridge Beam @ Dormers)
R-40 Insulation
6mil Poly Vapour Barrier
1/2" Drywall

Roof Ventilation:
Continuous 2" Vinyl Soffit Vent

Exterior Walls:
7/8" Stucco Finish O/
Wire Mesh O/
Building Paper o/
3/8" OSB Ply
2x6" Studs @ 16" O.C.
R20 Batt Insulation
6mil Poly Vapour Barrier
1/2" Drywall

Interior Load Bearing Walls:
1/2" Drywall Finish
2x6's @ 16" o.c. crossboard
1/2" Drywall Finish

Interior Non-Load Bearing Walls:
1/2" Drywall Finish
2x4's @ 24" o.c.
1/2" Drywall Finish

Floor System:
Interior Floor Covering
5/8" 18g Ply Subfloor
11"-7/8" Eng. Joist @ 16" o.c.
1/2" Drywall
Sprayed Finish

Concrete Foundation:
Concrete Foundation Wall
16 x 8" Concrete Strip Footing
Compacted Base
4" Perimeter Drain w/ Min. 12" Gravel cover

Basement Floor Slab:
3-1/2" Concrete Floor Slab
6mil Poly Vapour Barrier on
Compacted Base

Garage Floor Slab:
3-1/2" Concrete Floor Slab
6mil Poly Vapour Barrier on
Compacted Base
Slope Slab Towards Garage Door at 1/4" pft

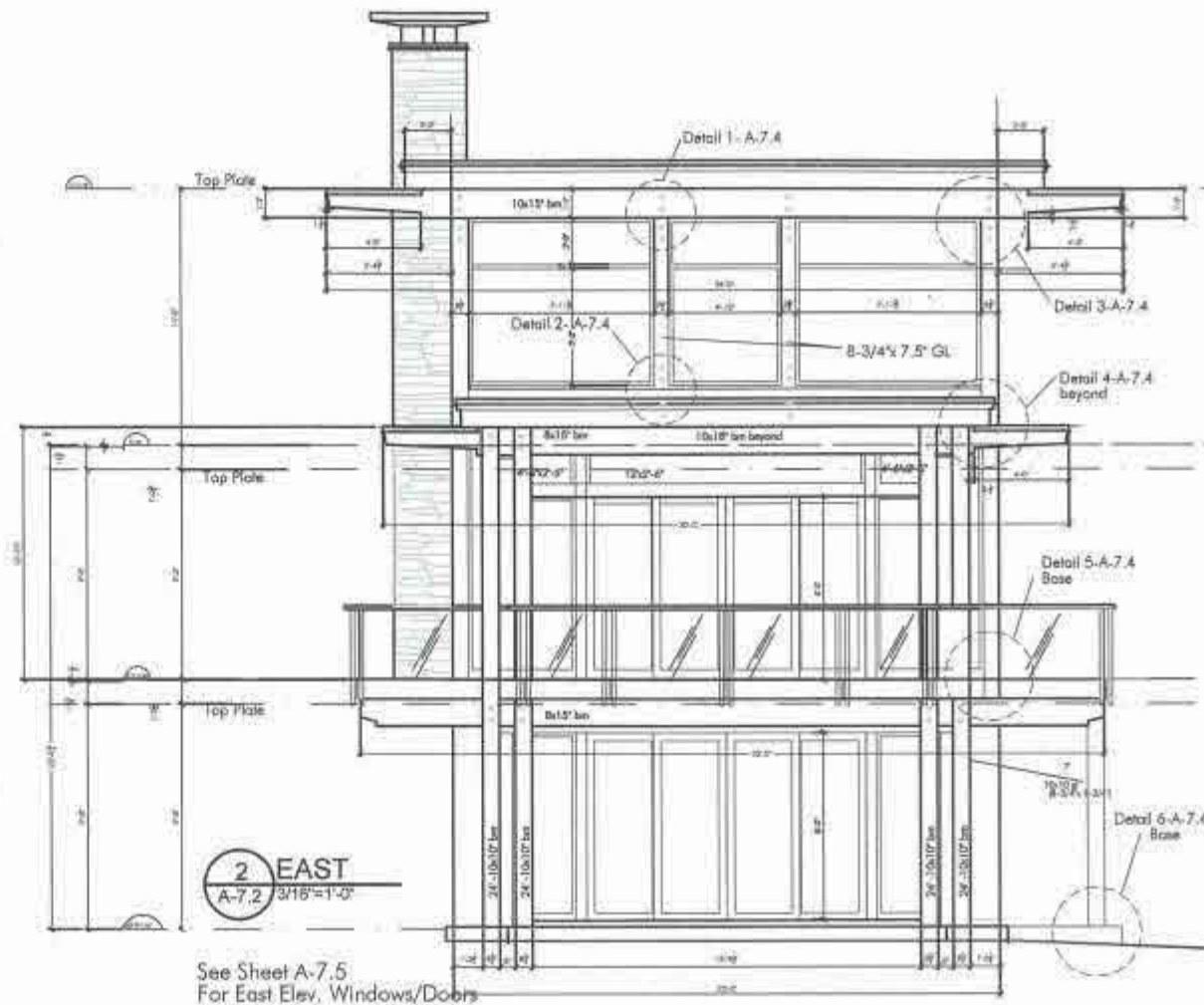
Crawl Space Floor Slab:
2" 1 Strip a Concrete Skin Coat on
6mil Poly Vapour Barrier on
Compacted Base

Stair Construction (Lowest up to Lower Floor)
15 equal risers of 5/8" Ply
9-1/2" - 10-1/2" treads of 1" OSB
2x12" stringers w/ 3/6" handrail

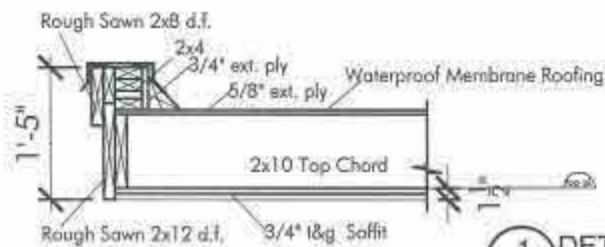
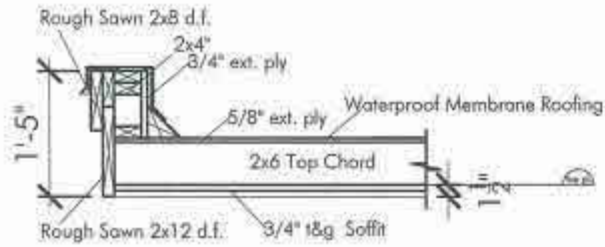
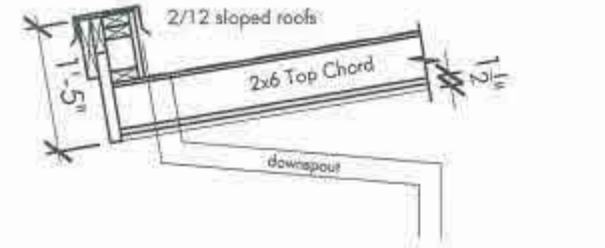
Stair Construction (Lower Floor up to Main)
Custom Open Tread Stair
2x15" treads w/ 2" overlap
3x18" stringers w/ 3/6" handrail w/ Tempered Glass

Stair Construction (Main up to Upper Bedroom)
20 equal risers of 5/8" Ply
9-1/2" - 10-1/2" treads of 1" OSB
2x12" stringers w/ 3/6" handrail

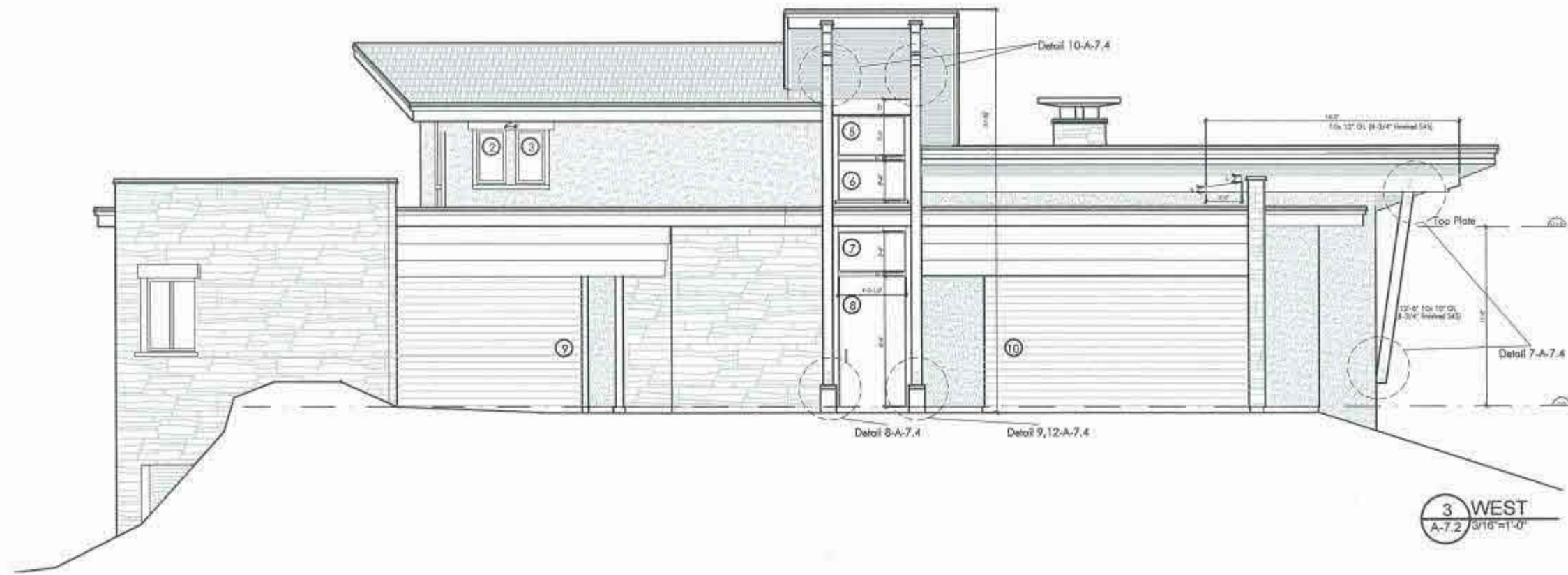
Exterior Doors and Windows
Exterior Doors and Windows to be ordered AFTER
Rough Framed Openings are Complete
To Ensure Proper fit - Sizes noted for budget purposes only



See Sheet A-7.5
For East Elev. Windows/Doors



1 DETAILS
A-7.2 3/16"=1'-0"



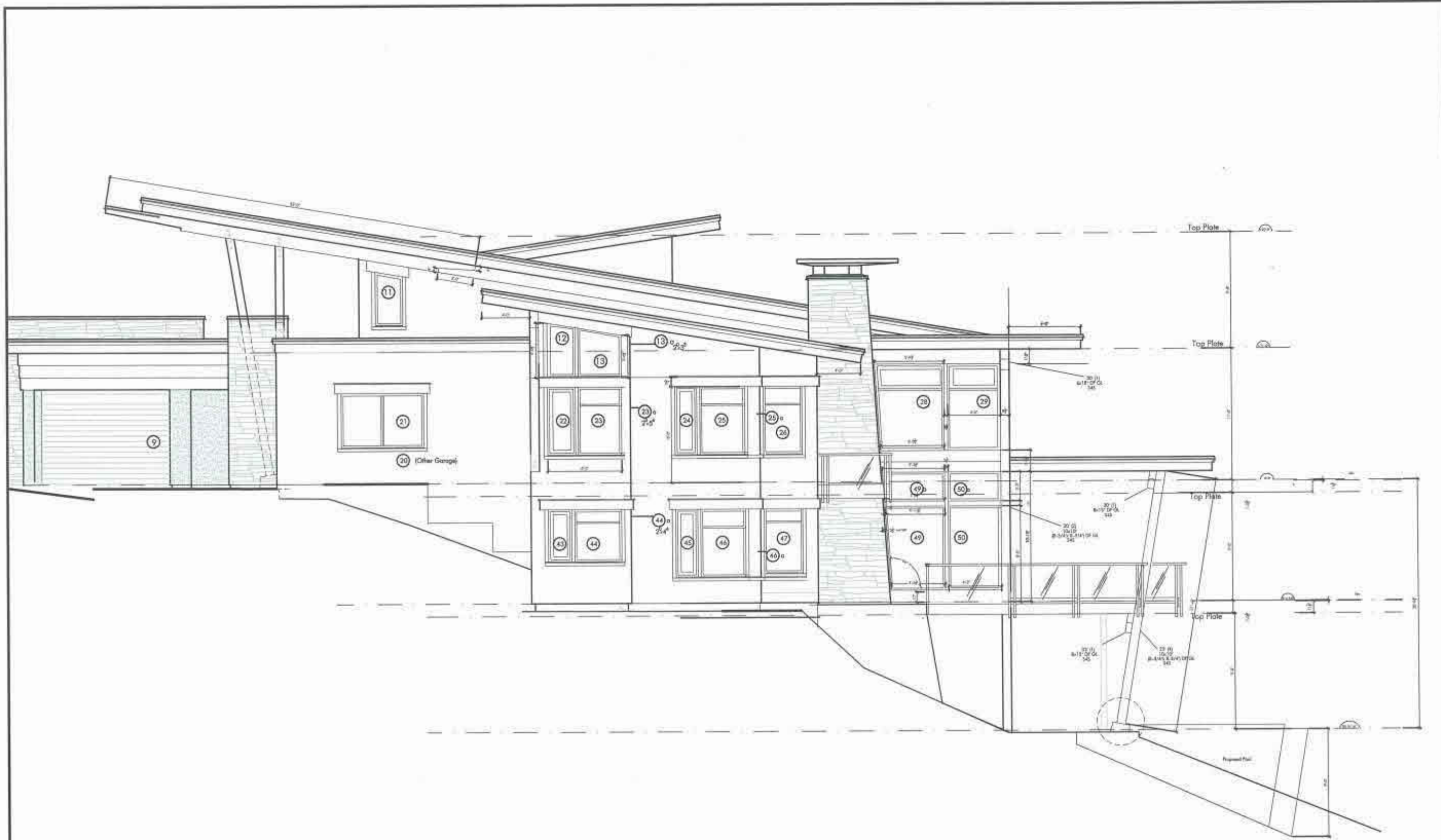
3 WEST
A-7.2 3/16"=1'-0"



KH
DESIGNS

CUSTOM
RESIDENTIAL
DESIGN

5325 BUCHANAN ROAD
PEACHLAND
BC V0H 1X1
250.767.0340



Malcolm
Residence

Lot 31
Plan 13335
District Lot 539, O.D.Y.D.

DRAWN BY: KH
PROJECT: 022-08
FILE:
ISSUE: DATE
10/18/08

2 SOUTH
A-7.3 1/4"=1'-0"

Elevation

A-7.3



**KH
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5325 BUCHANAN ROAD
PEACHLAND
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MARSHALL
Residence

Lot #5
Phase 9
The Quarry
Kelowna
British Columbia

DRAWN BY: KJH

PROJECT: 063-07
FILE:

ISSUE: DATE
Drawing issued: 21/05/08

ELEVATIONS

A-5



1 EAST
A-5 1/4"=1'-0"



1 WEST
A-5 1/4"=1'-0"

Specifications:
 Roof: 3:12 Slope Typical throughout
 S-Slope Concrete Top End G
 Ten Joist Rending Full
 7/16" OSB Ply w/ 8-Clips as required
 Engineered Trusses @ 24" O.C.
 2x6's @ 24" w/ Engineered Ridge Beam @ 24" O.C.
 6-40 Insulation
 5x4 Poly Vapor Barrier
 1/2" Drywall

Exterior Walls:
 7/8" Acrylic Stress Finish G
 Wire Mesh G
 Building Paper G
 3/8" OSB Ply
 2x4 Studs @ 16" O.C.
 R-10 Batt Insulation
 5x4 Poly Vapor Barrier
 1/2" Drywall

Interior Load Bearing Walls:
 1/2" Drywall Finish
 2x4's @ 16" o.c. maximum
 1/2" Drywall Finish

Interior Non-Load Bearing Walls:
 1/2" Drywall Finish
 2x4's @ 24" o.c.
 1/2" Drywall Finish

Floor System:
 Interior Floor Covering
 5/8" 18g Ply Subfloor
 1 1/2" 2x8 Trg. Joist @ 16" o.c.
 (or depth as per engineer's recommendation)
 1/2" Drywall
 Sprayed Finish

Concrete Foundation:
 Concrete Foundation Wall
 14" x 8" Concrete Step Footing
 Gravelled Seps
 4" Reinforcing Steel W/ Min. 12" Ground cover

Stair Construction Moist to Lower:
 18 equal runs of 5/8" ply
 7" nos and 10.5" nos
 50" Continuous Handrail

Typical Deck and Porch Construction:
 40 sq ft steel decking on 5/8" 18g Ply
 on 2x12 deck joist @ 16" o.c.
 2x2 cross bracing at Mid Span
 30" x 30" aluminum post
 Slope deck into 1/2" p.f.
 Min. 8" W/7 membrane up exterior wall



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SCEPANOVIC
RESIDENCE

3274
Malbec Cr.
Westbank B.C.
CANADA

Lot 21 KAP 82957

DRAWN BY: KH

PROJECT: 63-07

FILE:

ISSUE: DATE

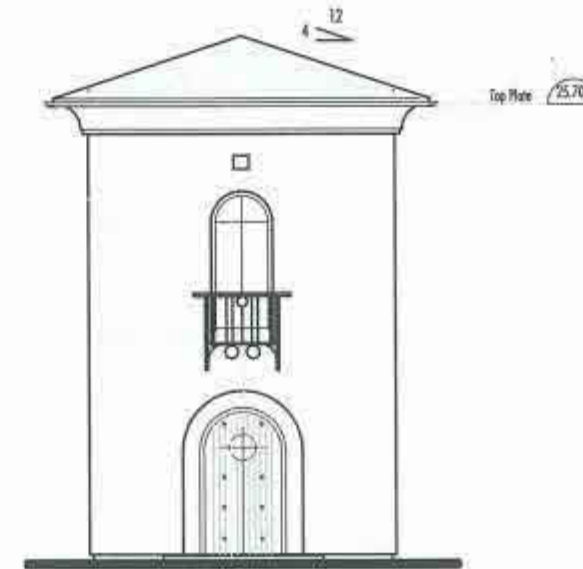
Drawing Issued: 27/11/07

Elevations

A-6



1 TOWER
A-6 3/16"=1'-0"



1 NORTH
A-6 3/16"=1'-0"



2 SOUTH
A-6 3/16"=1'-0"

Specifications:

Roof: 4:12 Slope Typical throughout

First Proof Clay "S" Tile
Over two layers Roofing felt
7/16" OSB Ply w/ H-Clips as required
Engineered Trusses @ 24" O.C.
2x6's @ 24" w/ Engineered Ridge Beams @ Downes
R-40 Insulation
6mil Poly Vapor Barrier
1/2" Drywall

Exterior Walls:

7/8" Stucco Finish O/
Wire Mesh O/
Building Paper o/
3/8" OSB Ply
2x6's @ 16" O.C.
R20 Insulation
6mil Poly Vapor Barrier
1/2" Drywall

Interior Load Bearing Walls:

1/2" Drywall Finish
2x6's @ 16" o.c. crossbraced
1/2" Drywall Finish

Interior Non-Load Bearing Walls:

1/2" Drywall Finish
2x4's @ 16" o.c.
1/2" Drywall Finish

Floor Systems:

Interior Floor Covering
5/8" 1/4" Ply Subfloor
11"-7/8" Eng. Joist @ 16" o.c.
1/2" Drywall
Spray-on Finish

Concrete Foundation:

Concrete Foundation Wall
16" x 8" Concrete Strip Footing
Compacted Base
4" Perimeter Drain W/ Min. 12" Gravel cover

Stair Construction Main to Lower
17 equal steps of 5/8" ply
7" high and 12.5" run
36" Continuous Handrail

Stair Construction Main to Upper
17 equal steps of 5/8" ply
7" high and 12.5" run
36" Continuous Handrail

Typical Deck and Porch Construction
40# and steel Decking on 5/8" 1/4" Ply
on 2x10 deck joists @ 16" o.c.
1/2" cross bracing of 2x4's @ 30"
3/8" steel, stainless steel gullies
Slope deck min 1/8" per
footplate w/ overflow scupper



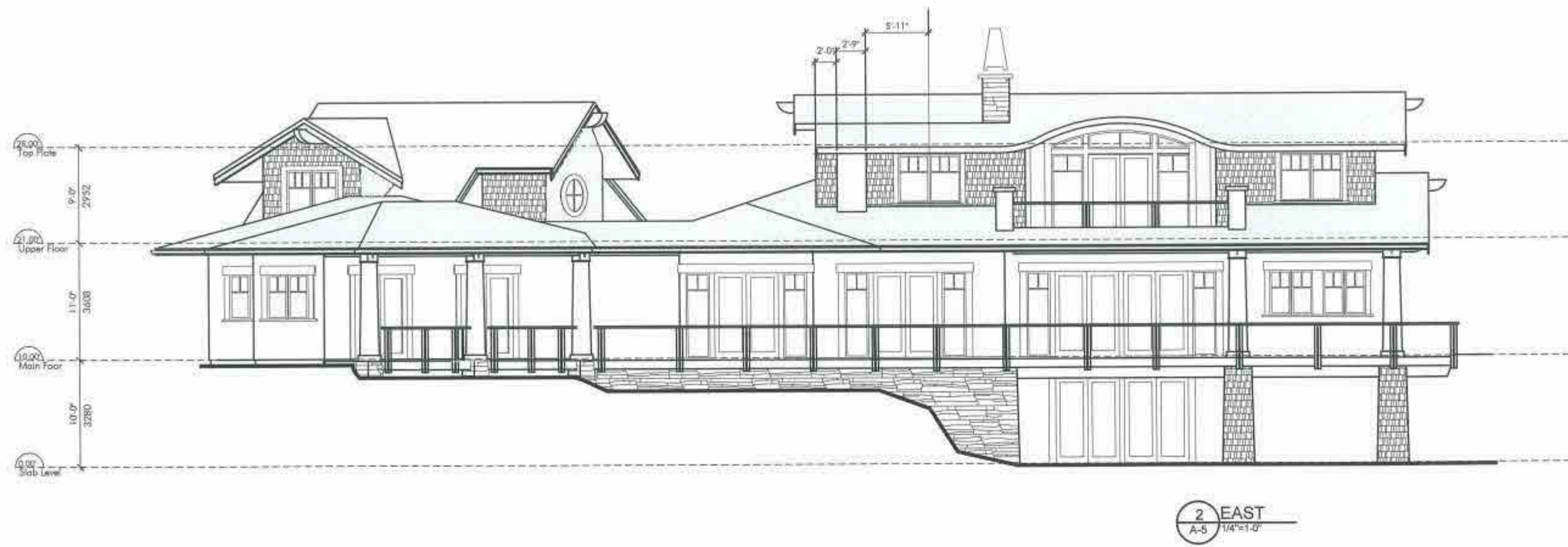
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5325 BUCHANAN ROAD
PEACHLAND
BC V0H 1X1
250.767.0340



- Specifications:**
 Roof: 4-12, 10-12 Slopes Indicated On Roof Plan
 25 Year Class 4 Material Asphalt Shingles
 Over new Super-Building felt
 3/4" OSB Ply W/ In. Clips as specified
 Engineered Trusses @ 24" O.C.
 2x6s @ 24" w/ Engineered Edge Beams @ Downed
 4-40 Insulation
 1/2" Poly Vapor Barrier
 1/2" Drywall
- Exterior Walls:**
 Hard Board Siding
 Or Hard Board Shingles/
 Building Paper or
 3/8" OSB Ply
 2x2 Studs @ 16" O.C.
 R20 Batt Insulation
 1/2" Poly Vapor Barrier
 1/2" Drywall
- Interior Load Bearing Walls:**
 5/8" Drywall Finish
 2x4s @ 16" o.c. concealed
 1/2" Drywall Finish
- Interior Non-Load Bearing Walls:**
 1/2" Drywall Finish
 2x4s @ 16" o.c.
 1/2" Drywall Finish
- Floor System:**
 Entrance Floor Covering
 5/8" OSB Ply Subfloor
 11-1/2" Joist @ 16" o.c.
 1/2" Drywall
 Sprayed Finish
- Concrete Foundation:**
 Concrete Foundation Wall
 3/4 x 8" Concrete Strip Footing
 Compacted Area
 4" Polystyrene Dens W Min. 12" Seal cover



DENISON
Residence

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 PROJECT: 059.07
 FILE:
 ISSUE: DATE
 Drawing Issued: 8/08/07

Elevations

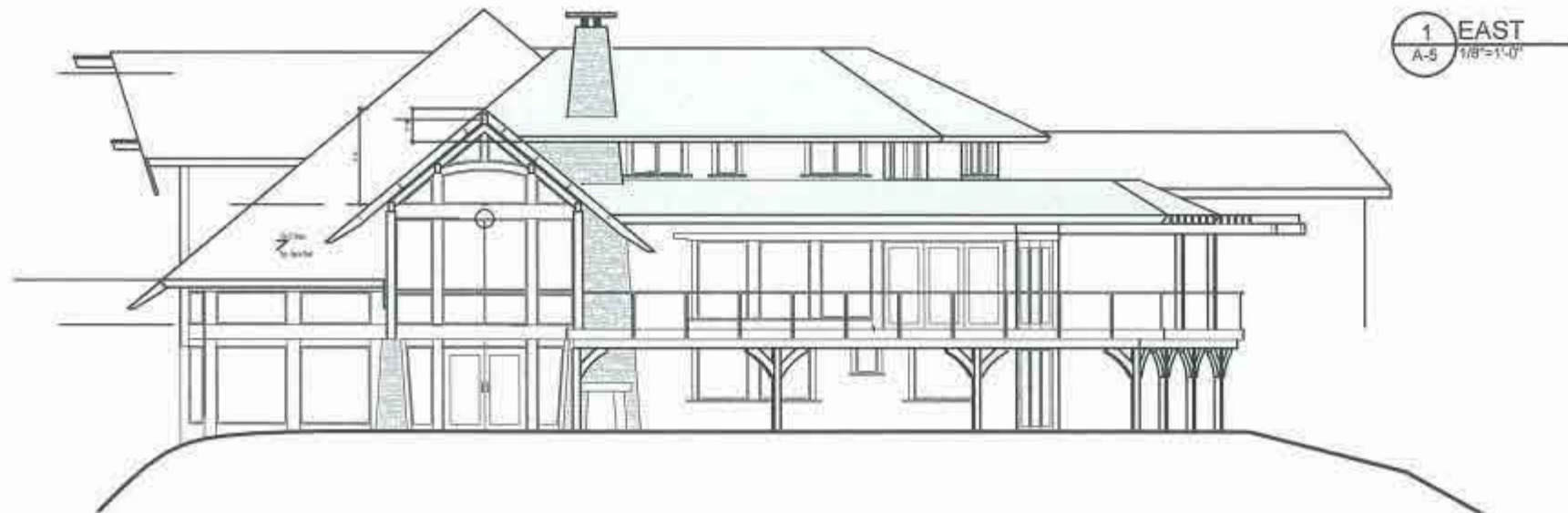
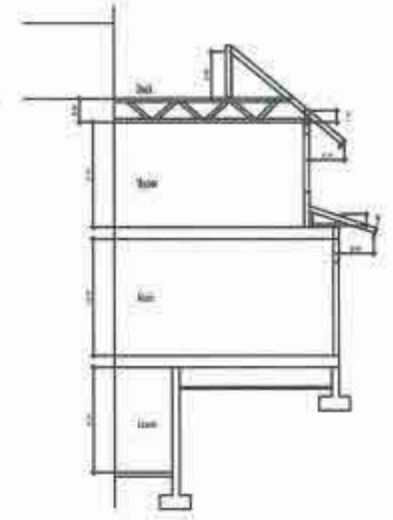
A-5



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DESIGNS

CUSTOM
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5325 BUCHANAN ROAD
PEACHLAND
BC V0H 1X1
250.767.0340



1 EAST
A-5 1/8"=1'-0"



2 WEST
A-5 1/8"=1'-0"

3 NORTH
A-5 1/8"=1'-0"

TELLO
RESIDENCE

6695
Langley Ct.
Ellison B.C.
CANADA

Set 8: KNP 530 US Section 381 Template 04.03.07.D

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PROJECT: 63-07
FILE:

ISSUE: DATE:
Drawing issued: 1/15/09

Proposed
Elevations

A-5



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DESIGNS INC.

CUSTOM
RESIDENTIAL
DESIGN

5325 BUCHANAN ROAD
PEACHLAND
BC V0H 1X1
250.767.0340

TELLO
RESIDENCE

6695
Langley Ct.
Ellison B.C.
CANADA

Level: WPS/S/S Section 30 Towing 24 O.D.Y.D.

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FILE:

ISSUE: DATE
Drawing issued: 1/15/09

Elevation
Section

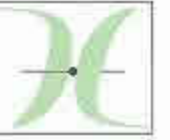
A-6



1 WEST
A-6 1"=3'-0"



3 SECTION
A-6 1"=3'-0"



**KH
DESIGNS**

CUSTOM
RESIDENTIAL
DESIGN

5325 BUCHANAN ROAD
PEACHLAND
BC V0H 1X1
250.767.0340

**TELLO
RESIDENCE**

**6695
Langley Ct.
Ellison B.C.
CANADA**

Lot 1 W.P. 53815 Section 30 Langley 04.0.0.03

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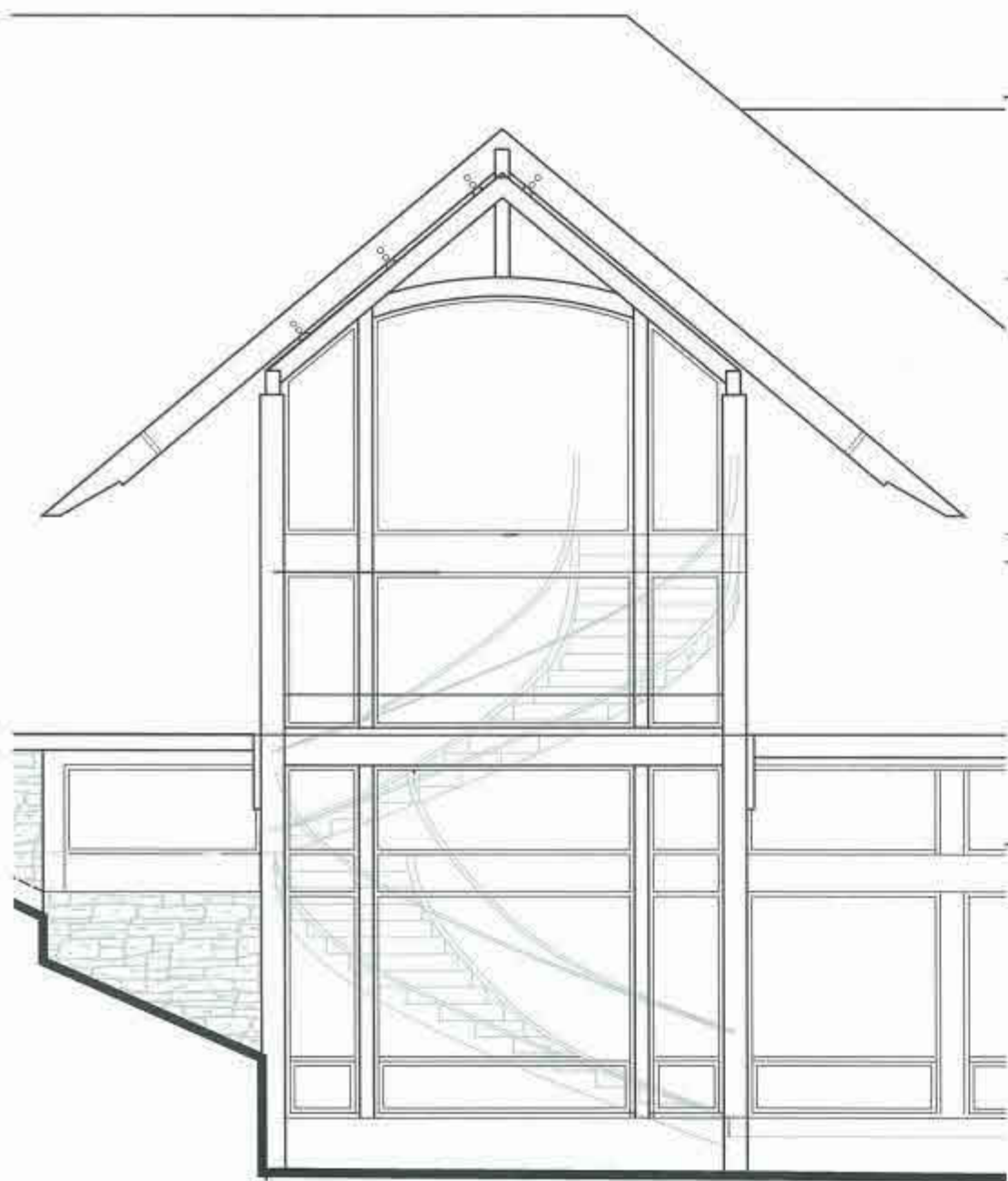
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Elevation
Section

A-7



1 NORTH
A-7 1"=3'-0"



2 SECTION
A-7 1"=3'-0"



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5325 BUCHANAN ROAD
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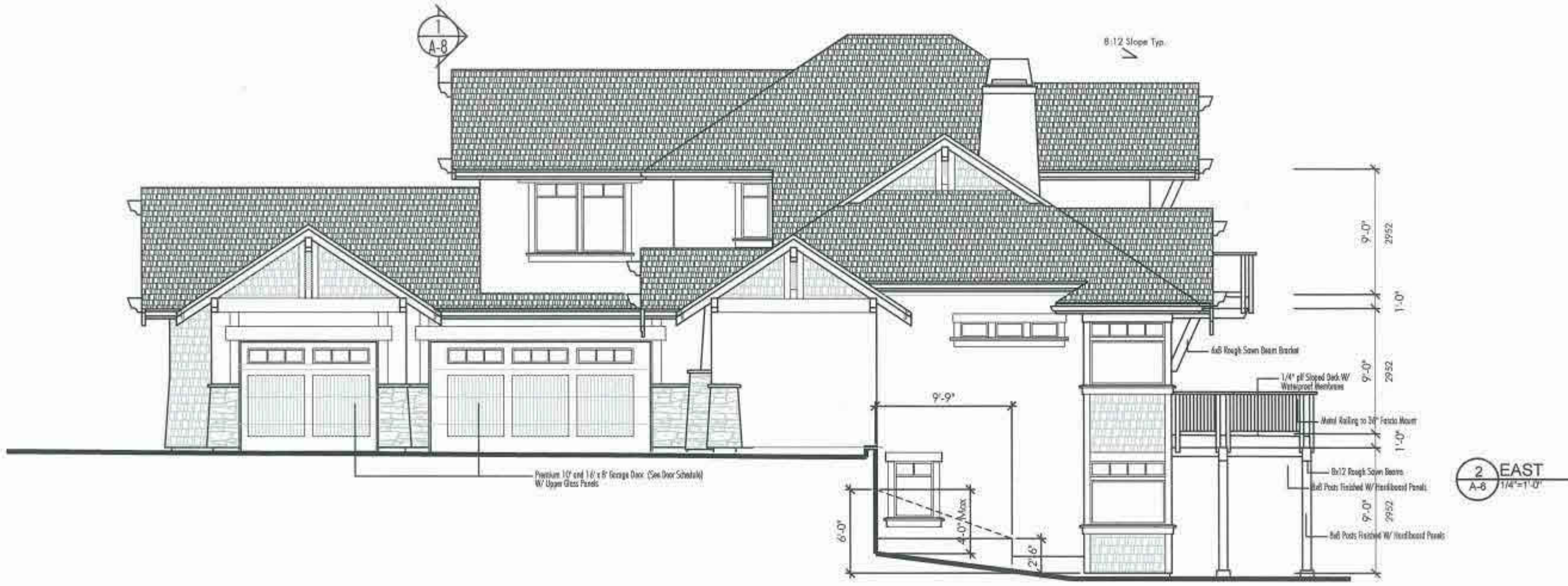
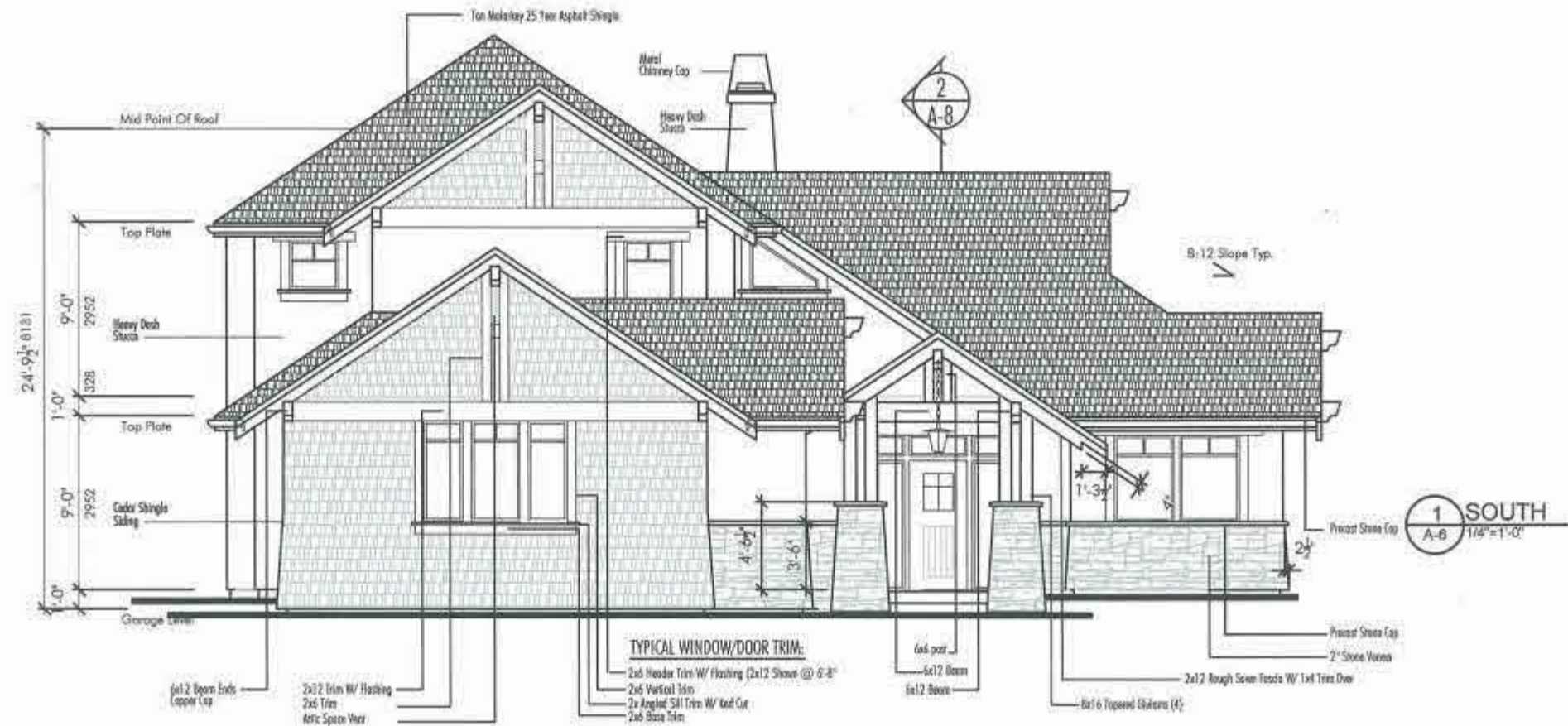
CASEY
RESIDENCE

452
Cavell Place
Kelowna B.C.

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PROJECT: 084-06
FILE:
ISSUE: DATE
Drawing Issued: 11/14/06

ELEVATIONS

A-6





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DESIGNS**

CUSTOM
RESIDENTIAL
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5325 BUCHANAN ROAD
PEACHLAND
BC V0H 1X1
250.767.0340

**CASEY
RESIDENCE**

**452
Cavell Place
Kelowna B.C.**

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FILE:	
ISSUE:	DATE
Drawing Issued:	11/14/06
Revised:	3/21/07

ELEVATIONS

A-7





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DESIGNS

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5325 BUCHANAN ROAD
PEACHLAND
BC V0H 1X1
250.767.0340

**BUTTON
RESIDENCE**

DRAWN BY: KH

PROJECT: 079-06
FILE:

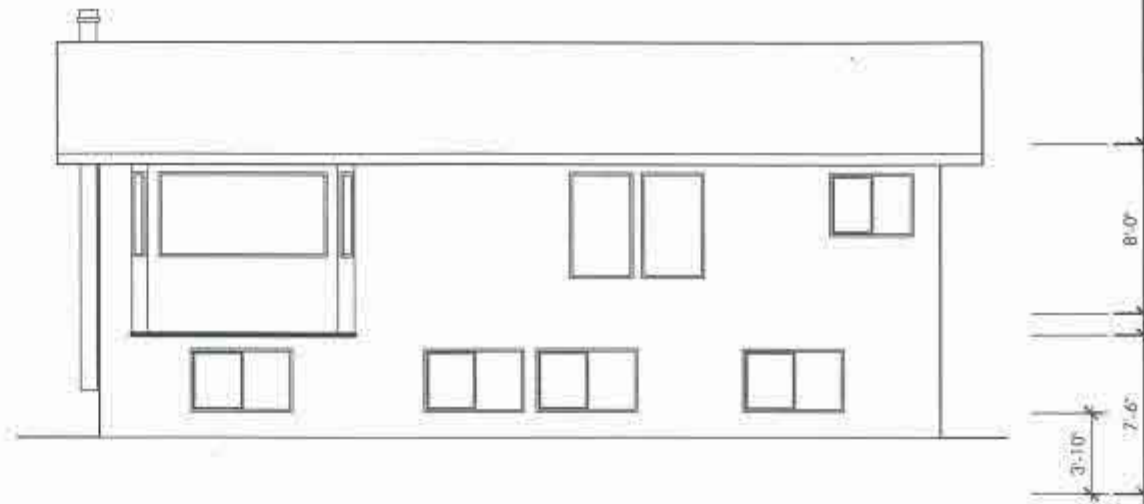
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Existing
Elevations

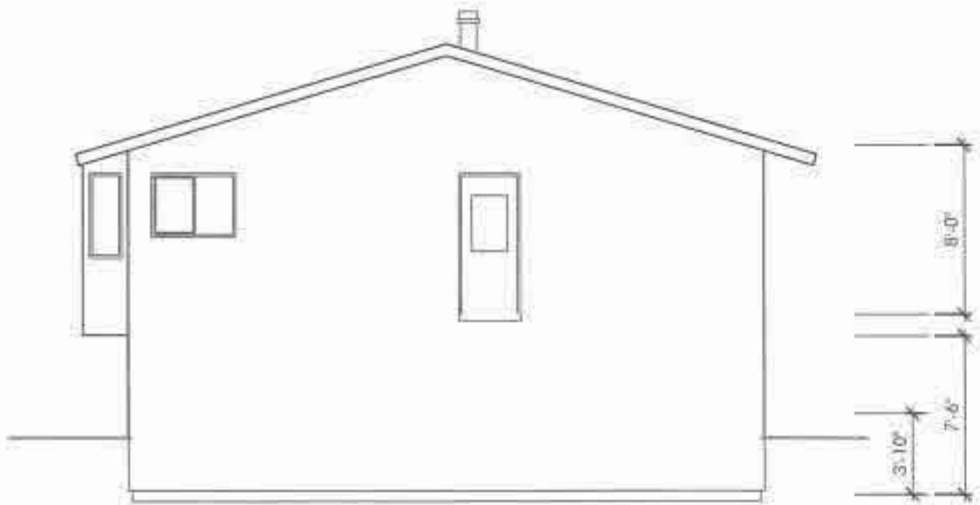
A-2



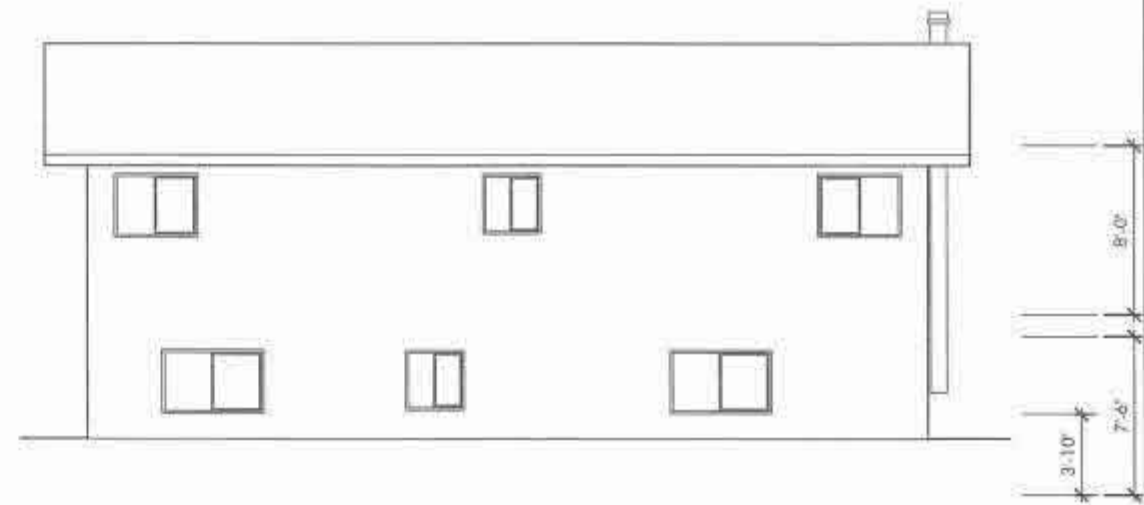
1 EAST
A-2 1/4"=1'-0"



2 NORTH
A-2 1/4"=1'-0"



3 WEST
A-2 1/4"=1'-0"



4 SOUTH
A-2 1/4"=1'-0"



**KH
DESIGNS**

CUSTOM
RESIDENTIAL
DESIGN

5325 BUCHANAN ROAD
PEACHLAND
BC V0H 1X1
250.767.0340



1 WEST
A-5 1/8"=1'-0"



2 EAST
A-5 1/8"=1'-0"



3 NORTH
A-5 1/8"=1'-0"



4 SOUTH
A-5 1/8"=1'-0"

**BUTTON
RESIDENCE**

3169
Johnson Rd.
Salmon Arm B.C.
V1E 3E6

DRAWN BY: KJH

PROJECT: 0279-06
FILE:

ISSUE: DATE:
Drawing Issued: 8/11/06

Proposed
ELEVATIONS

A-5



KH
DESIGNS

CUSTOM
RESIDENTIAL
DESIGN

5325 BUCHANAN ROAD
PEACHLAND
BC V0H 1X1
250.767.0340



1 EAST
A-6 1/8"=1'-0"



2 WEST
A-6 1/8"=1'-0"

**BUTTON
RESIDENCE**

**3169
Johnson Rd.
Salmon Arm B.C.
V1E 3E6**

DRAWN BY: KPH

PROJECT: 079-06
FILE:

ISSUE: DATE:
Drawing issued: 8/11/06

**Proposed
ELEVATIONS**

A-6



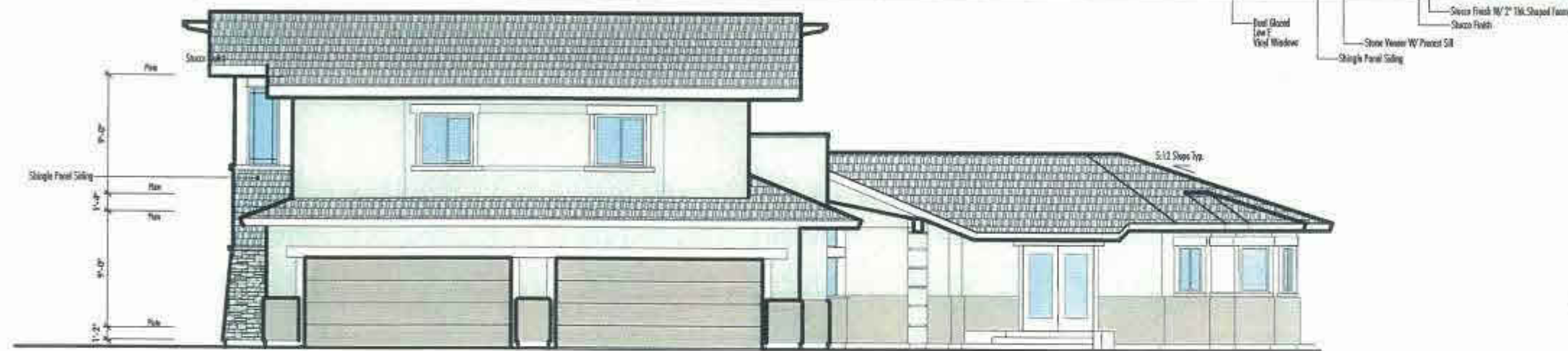
KJH
DESIGNS

CUSTOM
RESIDENTIAL
DESIGN

5325 BUCHANAN ROAD
PEACHLAND
BC V0H 1X1
250.767.0340



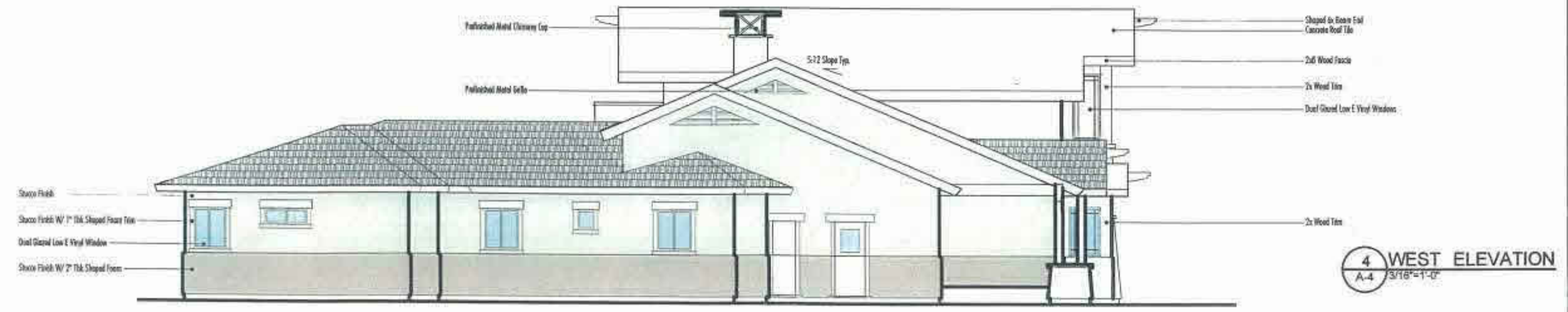
1 SOUTH ELEVATION
A-4 3/16"=1'-0"



2 EAST ELEVATION
A-4 3/16"=1'-0"



3 NORTH ELEVATION
A-4 3/16"=1'-0"



4 WEST ELEVATION
A-4 3/16"=1'-0"

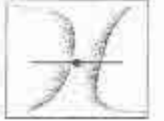
OLSEN
RESIDENCE

12438
KINGSPINE
Scripps Ranch

DRAWN BY: KJH
PROJECT: 078-03
FILE:
ISSUE DATE
Prelim. Design 3/07/04
Rev. 8/15/04

ELEVATIONS

A-4



**KJH
DESIGNS**

CUSTOM
RESIDENTIAL
DESIGN

5325 BUCHANAN ROAD
PEACHLAND
BC V0H 1X1
250.767.0340

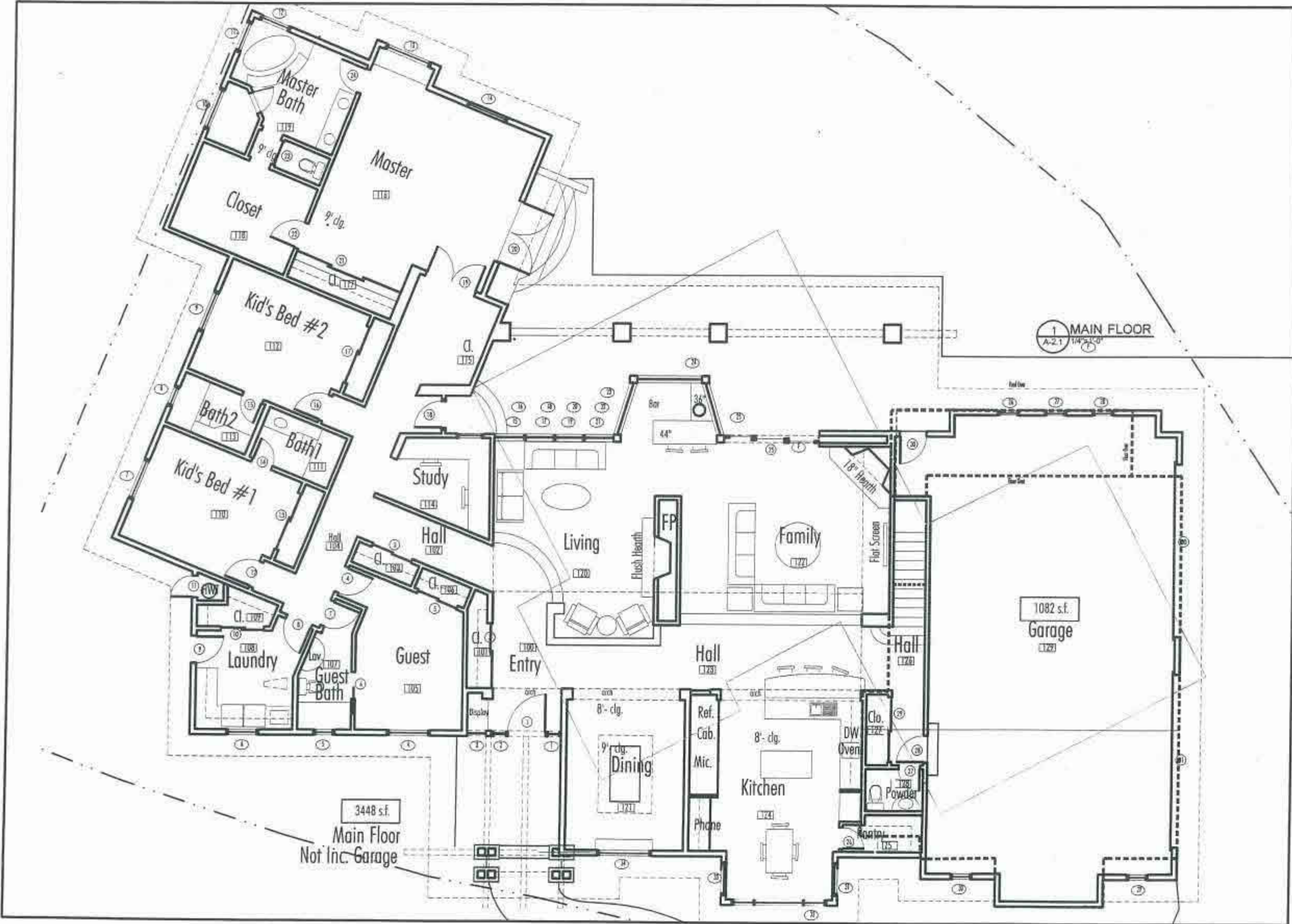
**OLSEN
RESIDENCE**

**12438
KINGSPINE
Scripps Ranch**

DRAWN BY: KJH
PROJECT FILE: 078-03
ISSUE DATE: 1/24/04
Rev: 8/15/04

Floor
Plan

A-1.1





**KJH
DESIGNS**

CUSTOM
RESIDENTIAL
DESIGN

5325 BUCHANAN ROAD
PEACHLAND
BC V0H 1X1
250.767.0340

**ROUGH
Residence**

**2531
WALINCA WAY
Vista Ca.
92028**

DRAWN BY: KJH

PROJECT: 019-04
FILE:

ISSUE	DATE
Prelim. Design	4/15/04
REV	12/02/04
Rev	10/03/05

ELEVATIONS

A-3

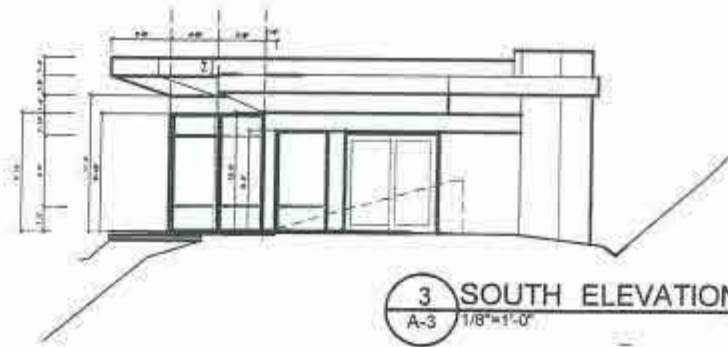
Windows/Doors: Dual Glazed Low E
Aluminum Stakeout Window Frame
Finished (Butt Glazed Corner)
Exterior Finish: Stucco with Stone Veneer



1 WEST ELEVATION
A-3 1/8"=1'-0"



2 NORTH ELEVATION
A-3 1/8"=1'-0"



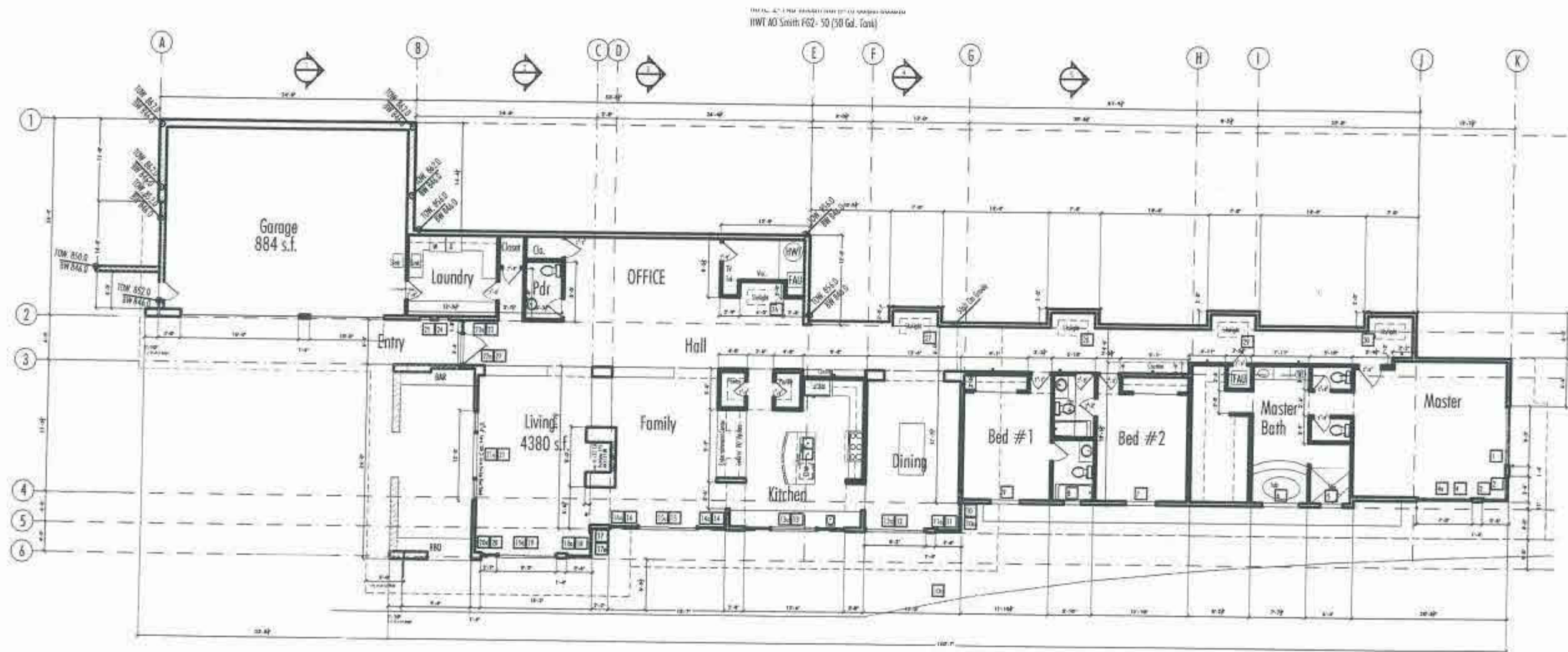
3 SOUTH ELEVATION
A-3 1/8"=1'-0"



KJH
DESIGNS

CUSTOM
RESIDENTIAL
DESIGN

5325 BUCHANAN ROAD
PEACHLAND
BC V0H 1X1
250.767.0340



ROUGH
Residence

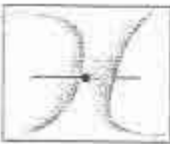
2531
WALINCA WAY
Vista Ca.
92028

1 PROPOSED PLAN
A-1 1/8"=1'-0"

DRAWN BY:	KJH
PROJECT FILE:	019.04
ISSUE DATE:	
Prelim. Design	3/22/04
Rev.	12/02/04
Rev.	5/20/05

PLAN

A-1

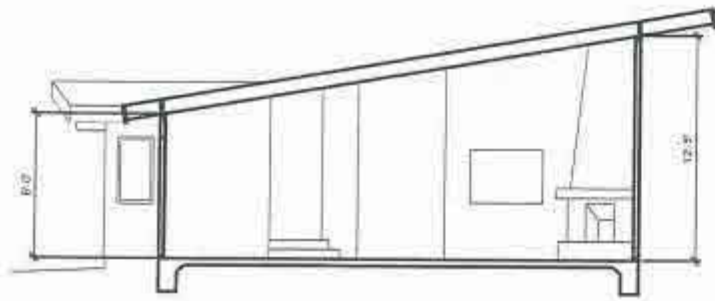


KJH
DESIGNS

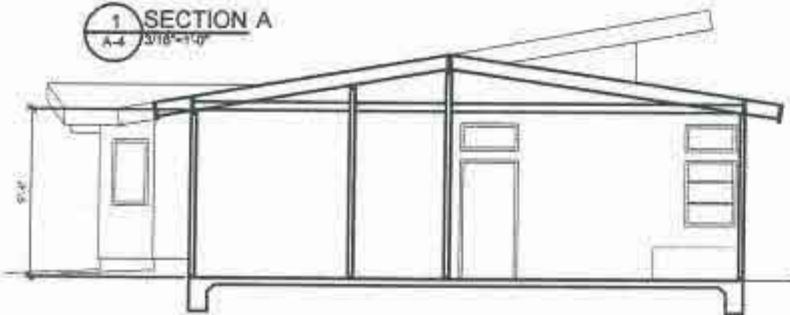
CUSTOM
RESIDENTIAL
DESIGN

5325 BUCHANAN ROAD
PEACHLAND
BC V0H 1X1
250.767.0340

**LAWSON
RESIDENCE**



1 SECTION A
A-4 3/16"=1'-0"



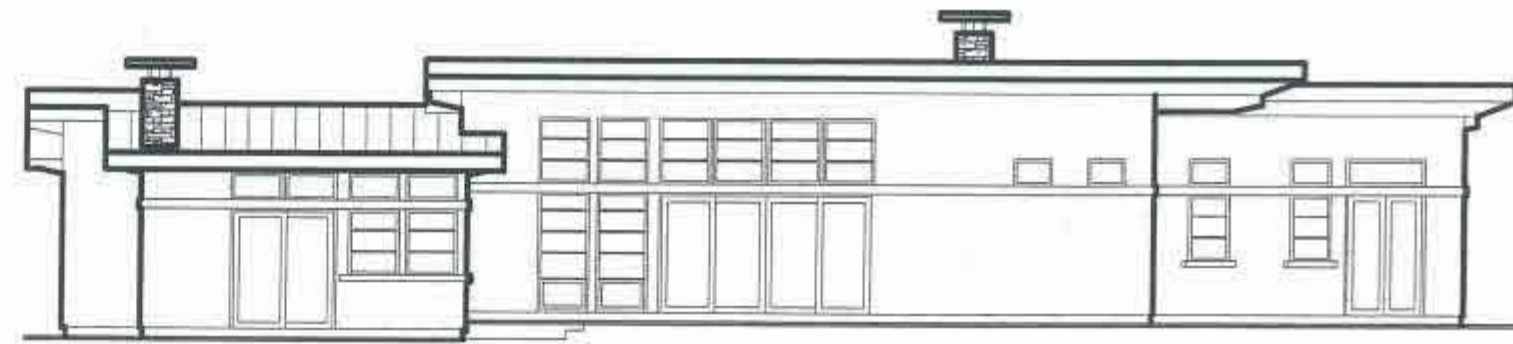
2 SECTION B
A-4 3/16"=1'-0"



3 PROPOSED EAST
A-4 3/16"=1'-0"



4 PROPOSED SOUTH
A-4 3/16"=1'-0"



5 PROPOSED NORTH
A-4 3/16"=1'-0"

DRAWN BY:	KJH
PROJECT:	026-05
FILE:	
ISSUE:	DATE
Prelim. Design:	1/30/05
Rev:	5/28/05

Proposed
Elevations/
Sections

A-4



KH
DESIGNS

CUSTOM
RESIDENTIAL
DESIGN

5325 BUCHANAN ROAD
PEACHLAND
BC V0H 1X1
250.767.0340

**Breakers
Pool Hall
&
Restaurant
Renovation**

**Unit #1
1515 Dilworth Dr.
Kelowna BC**

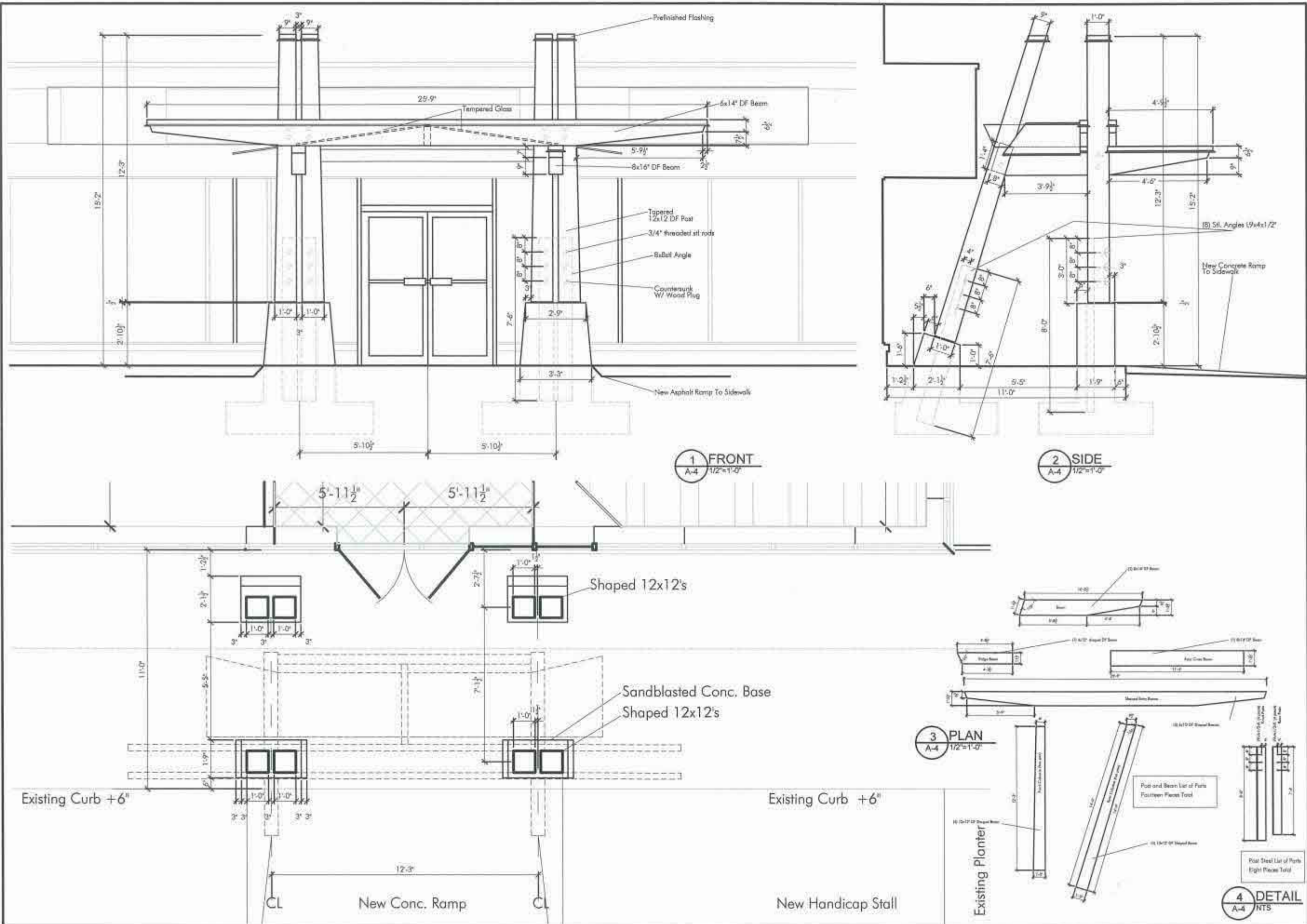
DRAWN BY: KH

PROJECT: 023-08
FILE:

ISSUE: DATE: 6/13/08

Details

A-4



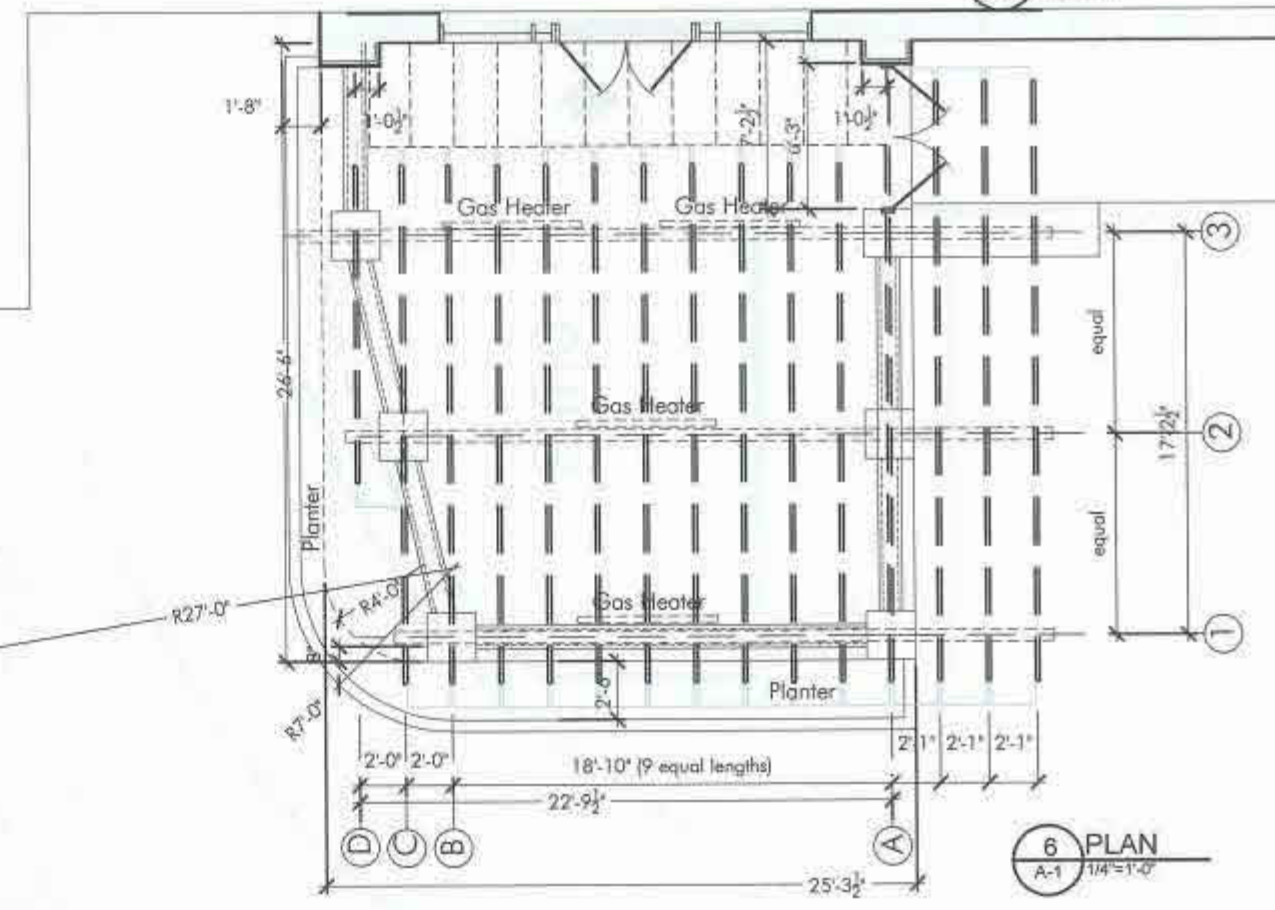
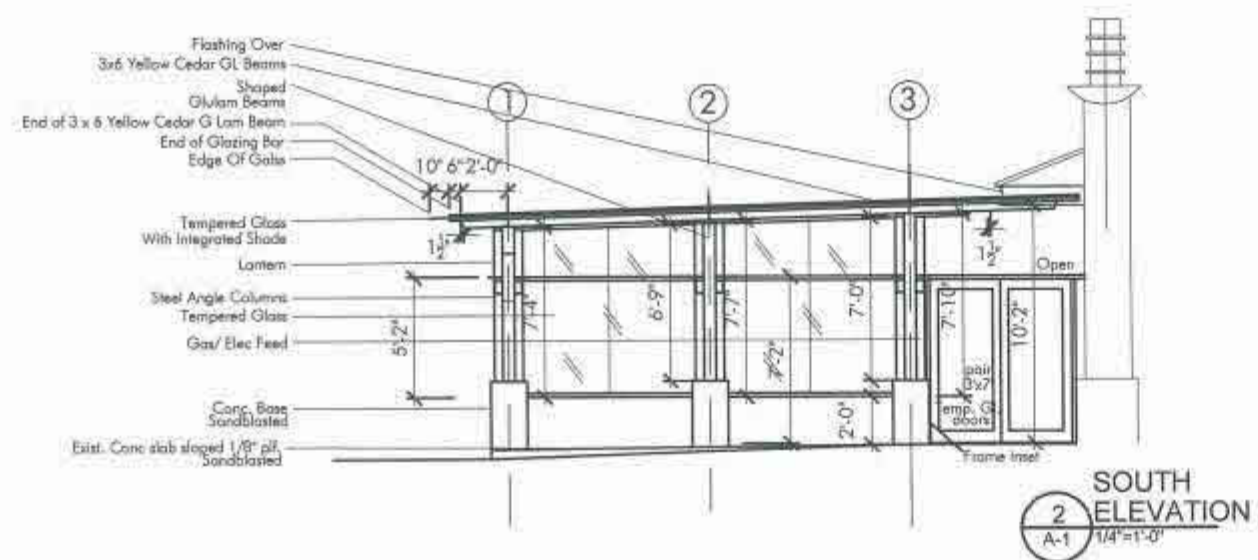
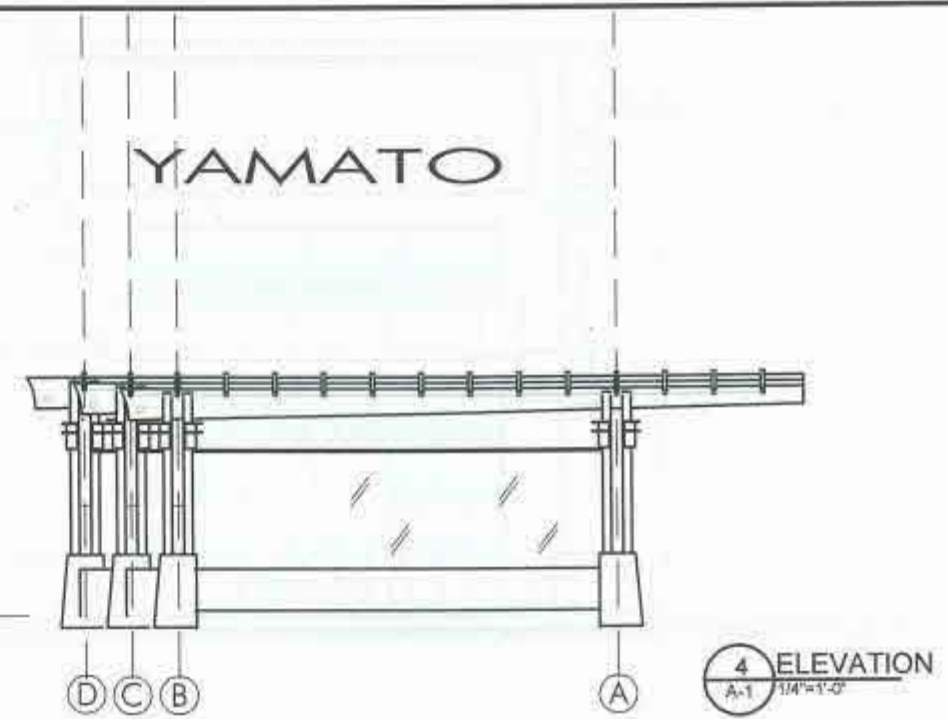
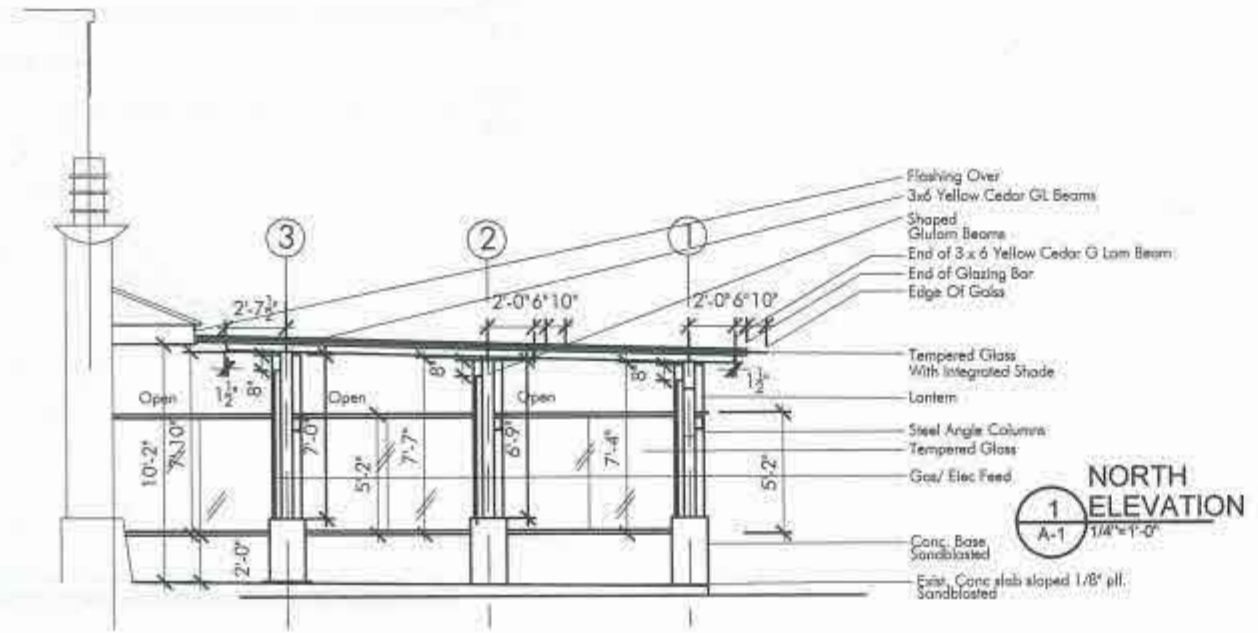


KH
DESIGNS

CUSTOM
RESIDENTIAL
DESIGN

5325 BUCHANAN ROAD
PEACHLAND
BC V0H 1X1
250.767.0340

YAMATO
Restaurant



DRAWN BY: KH
PROJECT: 022.08
FEE:
ISSUE: DATE 5/21/08

Plan
Elevation

A-1

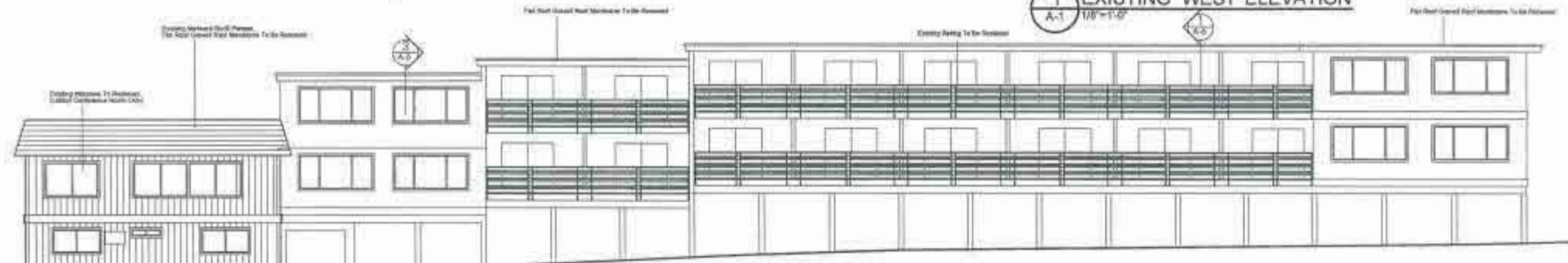
DATE: 08/14/18
PROJECT: BEACH VIEW LODGE
SHEET: A-2
SCALE: 1/8"=1'-0"

PROPERTY LINE

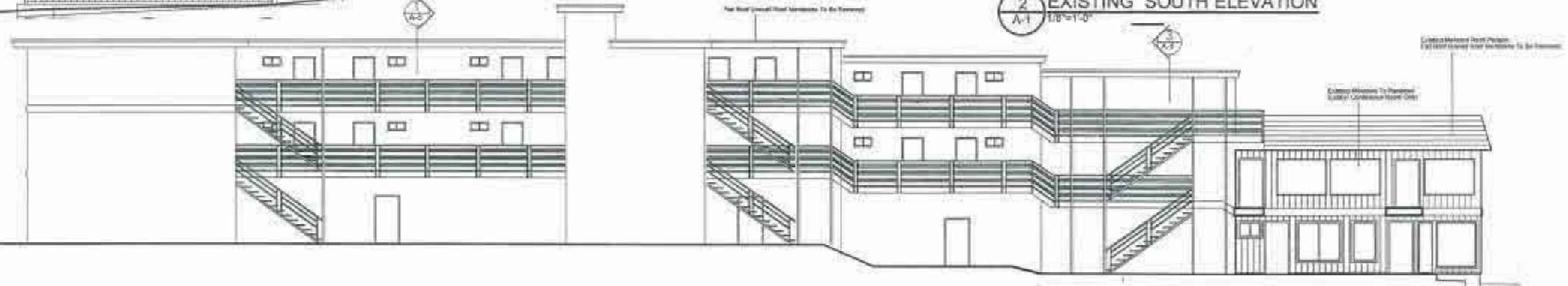
SETBACK



1 EXISTING WEST ELEVATION
A-1 1/8"=1'-0"



2 EXISTING SOUTH ELEVATION
A-1 1/8"=1'-0"



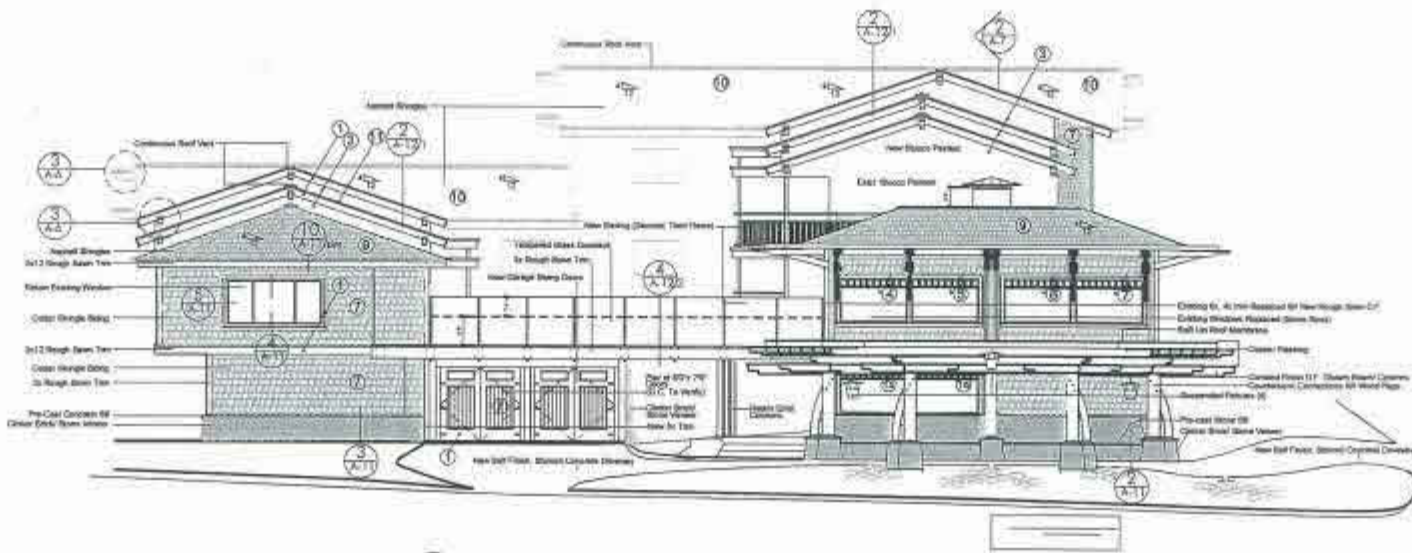
3 EXISTING NORTH ELEVATION
A-1 1/8"=1'-0"

BEST WESTERN
BEACH VIEW LODGE
3180 Carlsbad Boulevard
Carlsbad, California
92008



Location	Case #
1	1
2	2
3	3
4	4
5	5
6	6
7	7
8	8
9	9
10	10
11	11
12	12
13	13
14	14
15	15

FOR MORE DETAIL SEE SHEET A-1
ALSO SEE SHEET A-2



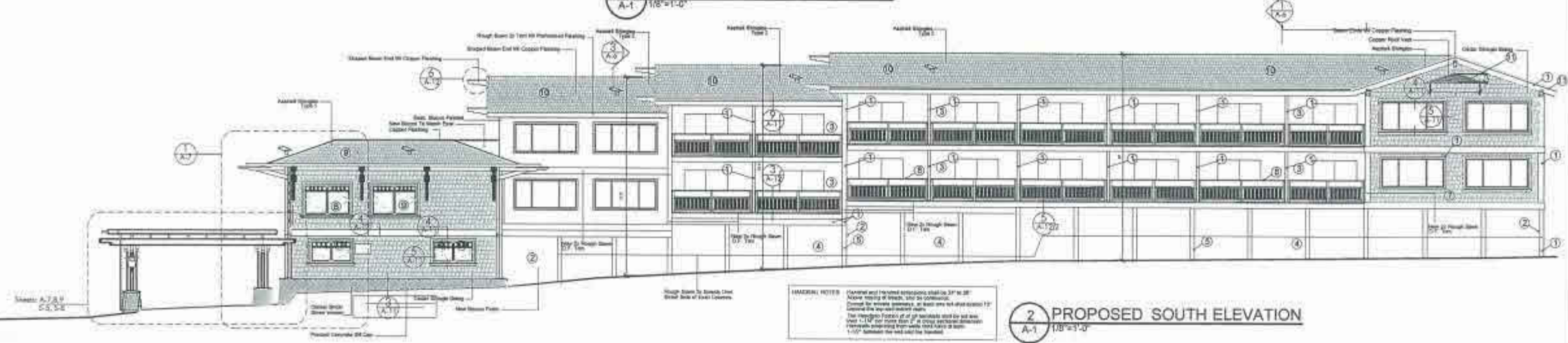
1 PROPOSED WEST ELEVATION
A-1 1/8"=1'-0"

Number	Size	Type	Comments
1	12" x 8"	Casement	Tempered, Low E, Dual
2	12" x 8"	Casement	Tempered, Low E, Dual
3	12" x 8"	Casement	Tempered, Low E, Dual
4	12" x 8"	Fixed	Tempered, Low E, Dual
5	12" x 8"	Fixed	Tempered, Low E, Dual
6	12" x 8"	Fixed	Tempered, Low E, Dual
7	12" x 8"	Fixed	Tempered, Low E, Dual
8	12" x 8"	Casement	Tempered, Low E, Dual
9	12" x 8"	Casement	Tempered, Low E, Dual
10	12" x 8"	Casement	Tempered, Low E, Dual
11	12" x 8"	Casement	Tempered, Low E, Dual
12	12" x 8"	Casement	Tempered, Low E, Dual
13	12" x 8"	Casement	Tempered, Low E, Dual
14	12" x 8"	Fixed	Tempered, Low E, Dual
15	12" x 8"	Fixed	Tempered, Low E, Dual
16	12" x 8"	Casement	Low E, Dual
17	12" x 8"	Fixed	Low E, Dual
18	12" x 8"	Casement	Low E, Dual
19	12" x 8"	Casement	Low E, Dual

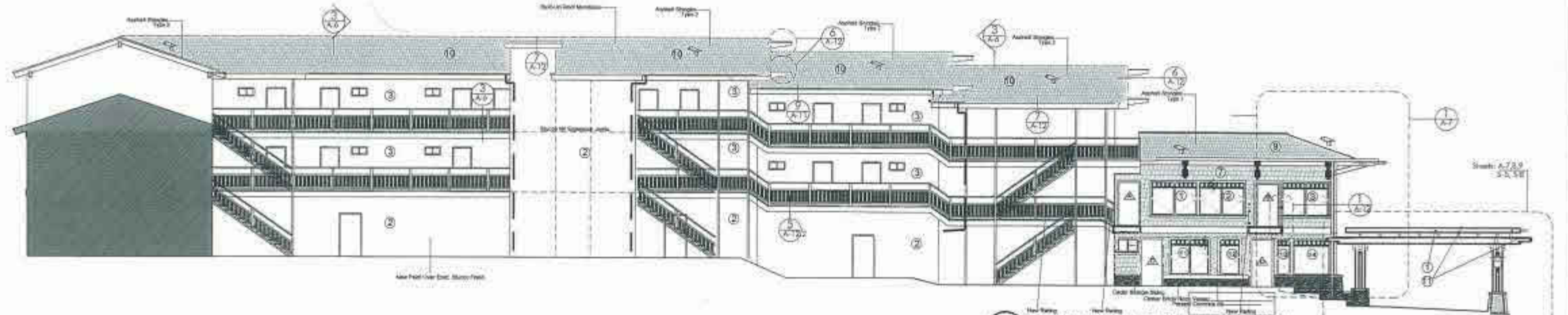
NOTES:
- All floor slabs to be finished, clean, white.
- All window glazing to be finished, clean, white.
- All window frames to be finished, clean, white.
- All window sills to be finished, clean, white.
- All window lintels to be finished, clean, white.
- All window casings to be finished, clean, white.
- All window trim to be finished, clean, white.
- All window hardware to be finished, clean, white.
- All window seals to be finished, clean, white.
- All window gaskets to be finished, clean, white.
- All window panes to be finished, clean, white.
- All window frames to be finished, clean, white.
- All window sills to be finished, clean, white.
- All window lintels to be finished, clean, white.
- All window casings to be finished, clean, white.
- All window trim to be finished, clean, white.
- All window hardware to be finished, clean, white.
- All window seals to be finished, clean, white.
- All window gaskets to be finished, clean, white.
- All window panes to be finished, clean, white.

Number	Size	Type	Comments
1	12" x 8"	Fixed	Tempered, Low E, Dual
2	12" x 8"	Fixed	Tempered, Low E, Dual
3	12" x 8"	Fixed	Tempered, Low E, Dual
4	12" x 8"	Fixed	Tempered, Low E, Dual
5	12" x 8"	Fixed	Tempered, Low E, Dual
6	12" x 8"	Fixed	Tempered, Low E, Dual
7	12" x 8"	Fixed	Tempered, Low E, Dual
8	12" x 8"	Fixed	Tempered, Low E, Dual
9	12" x 8"	Fixed	Tempered, Low E, Dual
10	12" x 8"	Fixed	Tempered, Low E, Dual
11	12" x 8"	Fixed	Tempered, Low E, Dual
12	12" x 8"	Fixed	Tempered, Low E, Dual
13	12" x 8"	Fixed	Tempered, Low E, Dual
14	12" x 8"	Fixed	Tempered, Low E, Dual
15	12" x 8"	Fixed	Tempered, Low E, Dual
16	12" x 8"	Fixed	Tempered, Low E, Dual
17	12" x 8"	Fixed	Tempered, Low E, Dual
18	12" x 8"	Fixed	Tempered, Low E, Dual
19	12" x 8"	Fixed	Tempered, Low E, Dual

NOTES:
- All floor slabs to be finished, clean, white.
- All window glazing to be finished, clean, white.
- All window frames to be finished, clean, white.
- All window sills to be finished, clean, white.
- All window lintels to be finished, clean, white.
- All window casings to be finished, clean, white.
- All window trim to be finished, clean, white.
- All window hardware to be finished, clean, white.
- All window seals to be finished, clean, white.
- All window gaskets to be finished, clean, white.
- All window panes to be finished, clean, white.



2 PROPOSED SOUTH ELEVATION
A-1 1/8"=1'-0"



3 PROPOSED NORTH ELEVATION
A-1 1/8"=1'-0"

WAGNER
McBANE
ARCHITECTS

BEST WESTERN
BEACH VIEW LODGE
3180 Carlsbad Boulevard
Carlsbad California
92008

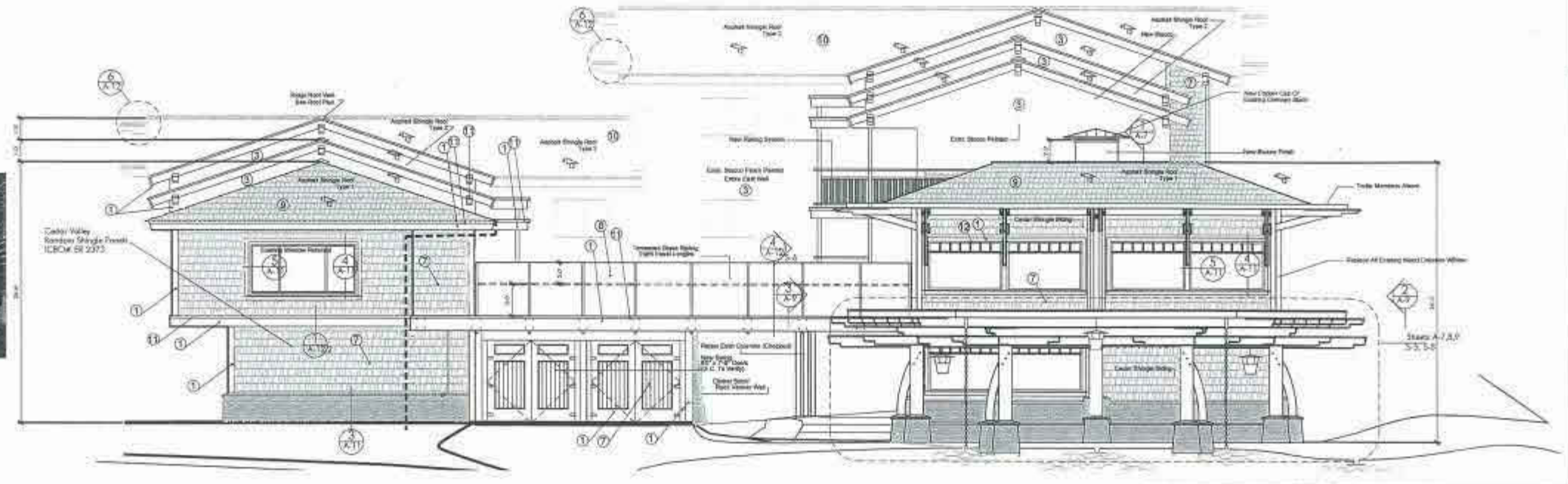
PROPOSED
ELEVATIONS

A-3

WE HAVE BEEN HONORED TO BE SELECTION BY THE CITY OF CARLSBAD TO DESIGN THE BEACH VIEW LODGE. THE PROJECT IS A 100 UNIT HOUSING DEVELOPMENT LOCATED AT 3180 CARLSBAD BOULEVARD, CARLSBAD, CALIFORNIA 92008.



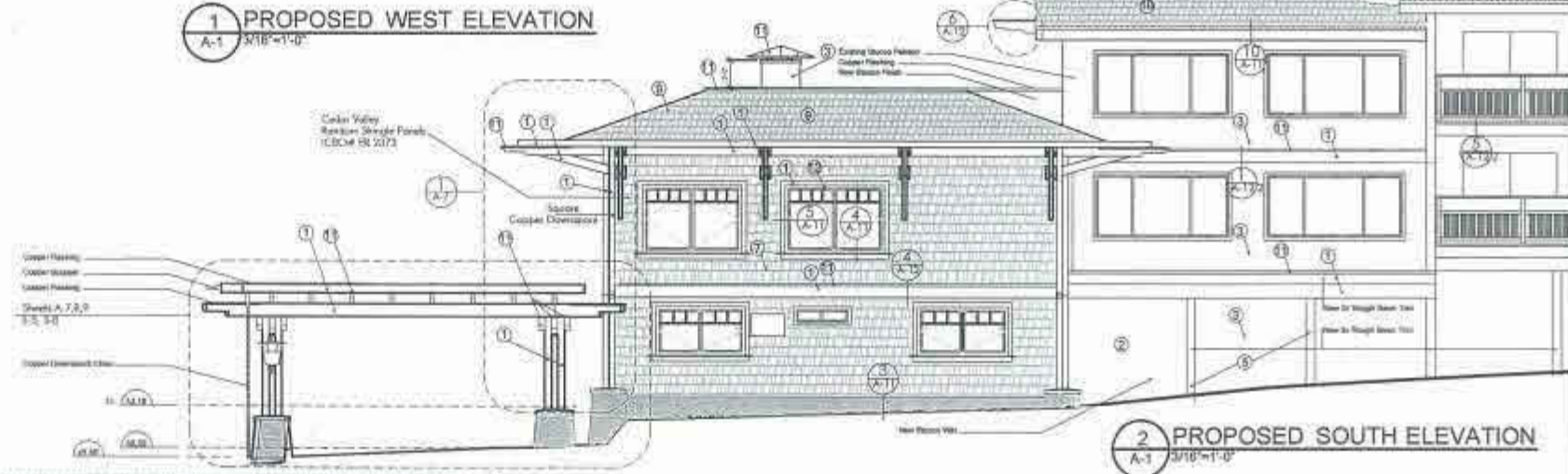
East Courtyard Wall
East Stone Finish Panels
Formed Cast In-Place



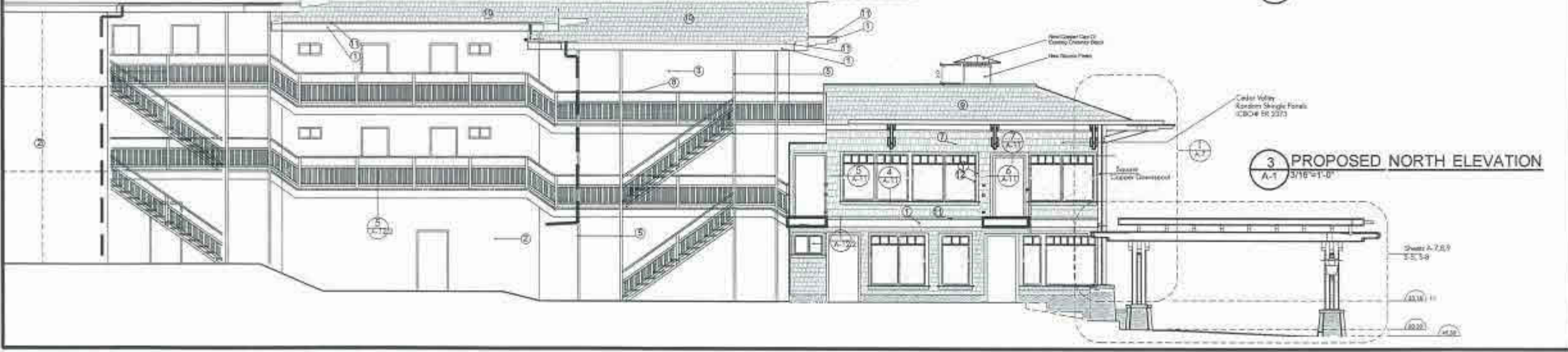
1 PROPOSED WEST ELEVATION
A-1 3/16"=1'-0"

ITEM NO.	DESCRIPTION	QTY
1	WOOD SHAKES	1
2	WOOD SHAKES	2
3	WOOD SHAKES	3
4	WOOD SHAKES	4
5	WOOD SHAKES	5
6	WOOD SHAKES	6
7	WOOD SHAKES	7
8	WOOD SHAKES	8
9	WOOD SHAKES	9
10	WOOD SHAKES	10
11	WOOD SHAKES	11
12	WOOD SHAKES	12
13	WOOD SHAKES	13
14	WOOD SHAKES	14
15	WOOD SHAKES	15

GENERAL NOTES:
Horizontal and vertical dimensions shall be 3/4" or 1/2" unless noted or locally noted by the architect. Ground level is indicated by a dashed line with 'G.L.' and '0.00' elevation. All elevations are in feet and inches. The horizontal portion of all sections shall be not less than 1/4" and not more than 1/2" unless otherwise noted. Horizontal dimensions are shown in feet and inches. Vertical dimensions are shown in feet and inches. All dimensions are to the center of the member unless otherwise noted.



2 PROPOSED SOUTH ELEVATION
A-1 3/16"=1'-0"



3 PROPOSED NORTH ELEVATION
A-1 3/16"=1'-0"

BEST WESTERN
BEACH VIEW LODGE
3180 Carlsbad Boulevard
Carlsbad California
92008

PROPOSED ELEVATIONS



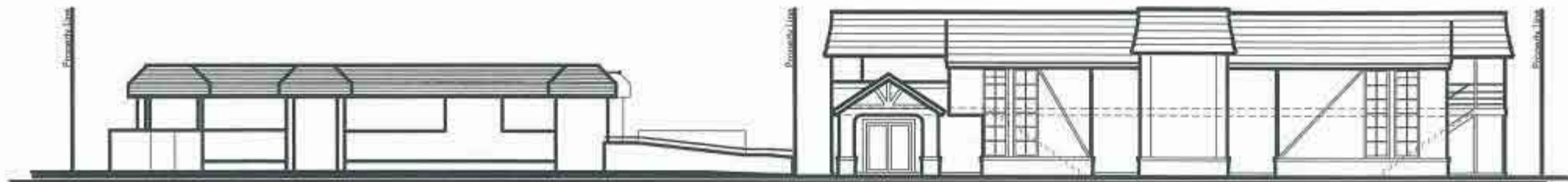


WAVE DESIGN
 1111 1/2 Street
 Newport, CA 95057
 Phone: (415) 253-1111
 Fax: (415) 253-1112
 Website: www.wavedesign.com

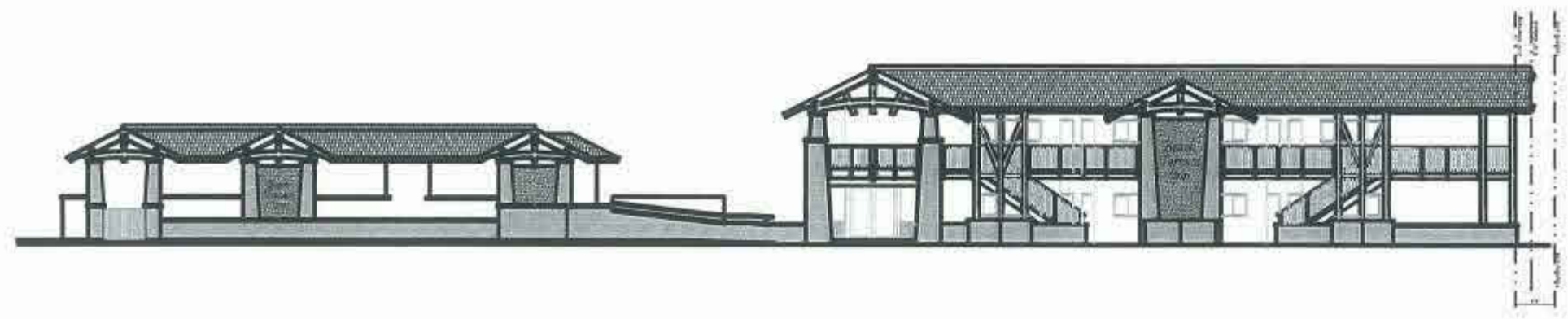
5325 BUCHANAN ROAD
 PEACHLAND
 BC V0H 1X1
 250.767.0340



5325 BUCHANAN ROAD
 PEACHLAND
 BC V0H 1X1
 250.767.0340



1 EXISTING EAST
 A-1 1/8"=1'-0"



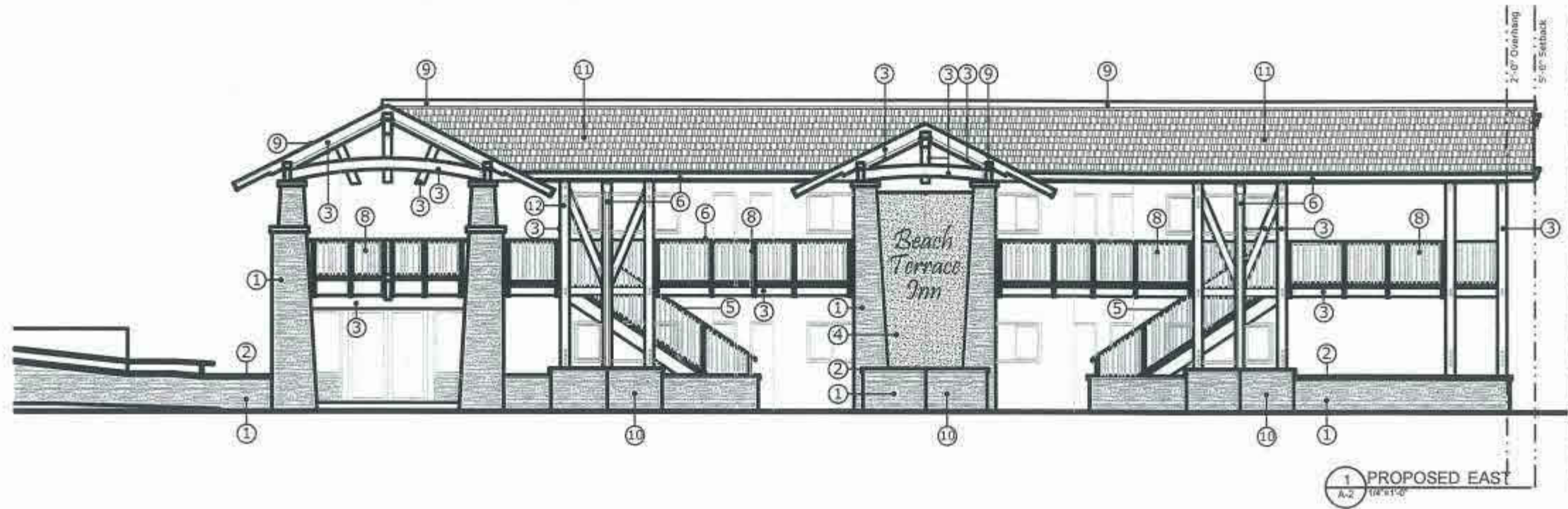
2 PROPOSED EAST
 A-1 1/8"=1'-0"

BEACH TERRACE INN
 2776, 2779 Ocean St.
 Carlsbad California 92008

Proposed ELEVATIONS

DATE	08-24-09
SCALE	1/8"=1'-0"
PROJECT	
Architect	WAVE DESIGN
Contractor	
Engineer	
Inspector	

A-1



- Materials Legend:**
- ① → Stone Veneer
 - ② → Pre Cast Concrete Cap
 - ③ → Brushed Finish Glulam
 - ④ → Shotcrete Finish
 - ⑤ → New Stairway with Precast Treads
 - ⑥ → Copper Gutter and Downspout
 - ⑦ → New Dual Glazed Low E Windows
 - ⑧ → Fascia Mounted Prefinished Metal Railing
 - ⑨ → Copper Flashing
 - ⑩ → Planter with Up Lighting
 - ⑪ → Raised Profile Asphalt Shingles
 - ⑫ → Wood Plugged Connections



WWD DESIGN
 5325 BUCHANAN ROAD
 PEACHLAND
 BC V0H 1X1
 250.767.0340



5325 BUCHANAN ROAD
 PEACHLAND
 BC V0H 1X1
 250.767.0340

BEACH TERRACE INN
 2775, 2779 Ocean St.
 Carlsbad California 92008

Proposed ELEVATIONS

DATE: 08-24-23
 SCALE: 1/8" = 1'-0"

Prepared by: L11270
 Checked by: L11270
 Date: 8/24/23

Project No: 23-001

A-2

March 9, 2006

To Whom It May Concern:

This is my enthusiastic letter of recommendation for the architectural services of Kevin Halchuk of KJH designs. Kevin designed the house which my husband and I are building and will live in, hopefully for many years to come.

Before I met Kevin, I had reservations about being able to get the look and feel I wanted in the house design. Kevin provided me with pictures, examples and explanations that reassured me from the get-go. I knew he understood what I was aiming for. He offered advice, suggestions and opinions to hand-hold me through the design process. He patiently, repeatedly incorporated changes that I asked for. He responded promptly to my phone calls and emails. The resulting house that Kevin designed for us is just what I wanted and includes everything that ended up on my wish list.

Additionally, and of great importance to us as first time home builders, Kevin helped us through the permit process. On a personal level, Kevin is professional, friendly and likeable. Need I go on? If so, feel free to call or write to me for further accolades.

Sincerely,



Mary Lynn Jackson

(Moving soon)

In the meantime -

7436 Gaviota Ave.

Van Nuys, CA 91406

Cell phone 818-613-6878

KH Designs Inc.
566 Gowen Pl.
Kelowna BC V1W 5B4
250-448-1980

Kevin J. Halchuk B.A., M.Arch.

Education

Master Of Architecture 1993
University Of Oregon

Bachelor Of Arts 1988
University Of British Columbia

Hemingway Nelson Architects

Intern Architect:
Ong Residence
McCleery Golf Course Clubhouse
MSA Hospital
Furry Creek Golf & Country Club
Rashid Residence
Vancouver General Hospital
Oak Street & 16th Avenue Multi-use Development

Gomberoff Policzer Bell Architects

Intern Architect:
Glacier's Reach Condominiums
Several Townhouse, Condominium Projects

Dikeakos & Cotter Architects

Intern Architect:
Willow Creek Condominiums
Several Townhouse, Condominium Projects

Downs Archambault Architects

Intern Architect:
Kwantlen College Surrey Campus
Ladner Pioneer Public Library

DGBK Architects

Intern Architect:
Nakashima Residence
Surrey Sports and Leisure Complex
Burnaby Lake Sports and Leisure Complex
Kirkbride, Beaver Creek, James Hill, Janice Churchill Schools
Whistler Chapel

Brigitte Loranger Architecture and Planning

Intern Architect:
Layton Residence, Higgins Residence, Brand Residence
Pioneer Junction Multi-Purpose Project

Don Edson Architect Inc.

Design/ Project Manager
Abbott Residence, Hale Residence

John Beery Architect Inc.

Design/Project Manager:
Hasse Residence, Wallace Residence Renovations
Cohen/ Gordon Residence, Brennan Residence

August 07, 2003

To whom it may concern,

We have been asked by Kevin Halchuk, from KJH Designs Inc., to write a recommendation letter for the design work he did on our 4000 sqft home on 13396 Highlands Ranch Road, in Poway California.

Kevin diligently worked with my wife Monica and me to come up with a solution for a very demanding lot. Our lot slopes down more than 40 ft from one end to the other, and thus required some creative shaping and a house design that would work well with this lot. The challenge was to design a split level home to accommodate the slop and the orientation of the lot. The main living spaces were designed to capture the incredible views and the four car Garage was positioned on the lower level to optimize the split level requirement.

This was not a simple home to design and required a lot of ingenuity and architectural taste to resolve. We were very impressed with Kevin's commitment and professionalism through out the project. He produced a quality product that we are very happy with. We are happy to recommend Kevin Halchuk for anyone planning to design and build a custom home.

Our house is currently under construction and expected to be completed in May 2004. I would be, in any case, happy to show it to you.

If we can be of further help, and or if you would like to see our house, feel free to contact me.

Sincerely,



Mike Enkerlin

Cell (858) 395-9474

ROGER AND JOANNE BECK

5150 PACIFICA DRIVE
SAN DIEGO, CA 92109
Phone - 858-274-2613
Fax - 858-483-9667
rkjbeck@sbcglobal.net

June 22, 2006

To Whom It May Concern:

It is a pleasure to write a letter of recommendation for Kevin Halchuk, the architect who assisted us with the recent remodel of our home. He was very pleasant to work with, and extremely conscientious about returning phone calls and answering our questions. He was able to take our ideas and turn them into tangible architectural features. He also referred us to a contractor with whom we were very pleased.

We would be happy to talk with you further if you have any questions. We can enthusiastically recommend Kevin for any architectural work you may have.

Sincerely,

Roger and Joanne Beck



C U S T O M D E S I G N

5325 Buchanan Road, Peachland, BC Canada V0H 1X1

Ph. 250-767-0340 Fax. 250-448-1955
Carlsbad Ca. Toll Free: 760-477-7383

Vancouver B.C. Toll Free: 604-288-7752

E-mail: KHDesignsinc@yahoo.com